



County of King William, Virginia

**BOARD OF SUPERVISORS  
WORK SESSION MEETING OF OCTOBER 3, 2022 - 7:00 PM  
KING WILLIAM COUNTY ADMINISTRATION BUILDING  
KING WILLIAM, VIRGINIA**

**A M E N D E D A G E N D A**

1. **Call to Order**
2. **Roll Call**
3. **Review and Adoption of Meeting Agenda**
4. **Work Session Matters**
  - a. **Resolution 22-84** - Appropriating Additional Funds to VJCCCA/Community Connection Program FY2023 Budget from Fund Balance for Purchase of a New Vehicle - Veda G. Frazier, Program Manager
  - b. **Resolution 22-85** - Authorizing County Administrator to Sign Deed of Gift & Expressing Gratitude to Carlyle P. Clements & Brenda H. Clements - Steve Hudgins, Deputy County Administrator
  - c. Creating an Assessor's Office - Karena L. Funkhouser, Commissioner of the Revenue
  - d. Twice Per Year Personal Property Tax Payments - Percy C. Ashcraft, County Administrator / Karena L. Funkhouser, Commissioner of the Revenue
  - e. Proration of Personal Property Tax Discussion - Percy C. Ashcraft, County Administrator / Karena L. Funkhouser, Commissioner of the Revenue
  - f. Update Property Maintenance Ordinance to Comply with State Code - Sherry Graham, Director of Planning
  - g. FY24 Capital Projects - Percy C. Ashcraft, County Administrator
  - h. FY24 New Personnel Discussion - Percy C. Ashcraft, County Administrator
  - i. King William Library Discussion - Percy C. Ashcraft, County Administrator
  - j. **West Point Library Discussion** - Percy C. Ashcraft, County Administrator
  - k. **Resolution 22-80R** - Amend Resolution 22-80 - Nita McInteer, Human Resources Manager
5. **Board of Supervisors' Requests**

## 6. Closed Meeting

- a. Motion to Convene Closed Meeting in accordance with Section 2.2-3711 (A)(1) of the Code of Virginia to consider a personnel matter involving the appointment of individuals to Boards and Commissions and involving the promotion of a specific public employee.
- b. Motion to Reconvene in Open Session
- c. Certification of Closed Meeting
- d. Action on Closed Meeting (if necessary)

## 7. Appointments

- a. **Resolution 22-86 - Appointment(s) to Social Services Advisory Board**
- b. **Resolution 22-87 - Appointment(s) to King William County VA250 Planning Committee**

## 8. Adjourn or Recess

### NOTES REGARDING AGENDA:

This agenda is tentative only and subject to change by the Board of Supervisors.

There is no Public Comment Period during Work Sessions.

During any Public Hearings, speakers shall be provided one opportunity of three minutes per individual or five minutes per group. Speakers shall provide their name, district of residence, and if applicable, the group they are representing. The Board of Supervisors may modify and/or set other rules governing the conduct of Public Hearings.

Detailed instructions for viewing live-streams of meetings, signing up to speak via Zoom (registration required by noon on the day of the meeting), and general guidelines for Public Comment & Public Hearings are available from the [King William County website](#).

## **AGENDA ITEM 4.a.**

**Resolution 22-84** - Appropriating Additional Funds to VJCCCA/Community Connection Program FY2023 Budget from Fund Balance for Purchase of a New Vehicle - Veda G. Frazier, Program Manager

# Community Connection Program

*Serving: Middlesex, King & Queen, King William, New Kent and Charles City Counties*

41 Horse Landing Road  
Post Office Box 218  
King William, VA 23086  
804/769-4918  
**FAX 804/769-0851**

## MEMORANDUM

**DATE:** September 26, 2022  
**TO:** King William County Board of Supervisors  
**FROM:** Veda G. Frazier, Program Manager  
**SUBJECT:** Appropriating Additional Funds to VJCCCA/Community Connection Program  
FY2023 Budget from Fund Balance

### **REQUEST FOR ACTION:**

Appropriate funds as requested.

### **SUMMARY:**

VJCCCA/Community Connection Program; serving the counties of King William (Fiscal Agent), King & Queen, Charles City, Middlesex and New Kent, has obtained the approval of the County Administrators served by the VJCCCA King William Combined Plan to add \$30,000 for the purchase of a new vehicle from our Fund Balance to our FY2023 Budget. The funds in our Fund Balance are mostly funds collected over the years from Intensive Supervision and Electronic Monitoring fees. The appropriation of these funds for this purchase would mean that we would not be seeking additional funding from any of the localities under the plan for the purchase of a vehicle.

In FY13 and FY14, we requested and purchased two (2) new vehicles to replace the two aging vehicles in the program. At those times, the monies for these purchases were also drawn from our available Fund Balance. Our 2013 Ford Focus is in need of serious repair and even though we have had many of the repairs performed, our certified mechanic is advising us that it is time to look for a replacement car as the warranty will expire April 2023 and further repairs would be coming from our budget.

Our vehicles are currently being used for the following reasons:

- Home visits – Our part-time employees monitor juveniles at their homes while they are participating in the Intensive Supervision and Electronic Monitoring programs. Juveniles on the monitor or intensive supervision are required to be seen a minimum of two (2) times to three (3) per week with one of those visits being on the weekend.

- Coverage Area – We provide these services to all five localities that we serve. Covering a minimum of 1,000 miles per month.
- Additional Usage – Our vehicles are also used for travel back and forth to the Courts in our localities as well as to the different Court Service Unit offices to complete Intake appointments, provide Law Related, Anger Control and Substance Abuse Education sessions, Substance Abuse Evaluations, Drug testing, and Community Service supervision.

FUND 737/VJCCA			FUND 737/VJCCA		
	Original Budget	ADOPTED		Requested Amended Budget	
		FY 2023			FY 2023
33300 VJCCA COORDINATOR			33300 VJCCA COORDINATOR		
033300-1100	SALARIES & WAGES - Director	69,937	033300-11	SALARIES & WAGES - Director	69,937
033300-1300	SALARIES & WAGES	37,560	033300-13	SALARIES & WAGES	37,560
033300-1310	SALARIES & WAGES - P/T PERM	41,728	033300-13	SALARIES & WAGES - P/T PERM	41,728
033300-2100	FICA	8,542	033300-21	FICA	8,542
033300-2210	RETIREMENT - VRS	8,697	033300-22	RETIREMENT - VRS	8,697
033300-2300	HOSPITAL/MEDICAL PLANS	15,835	033300-23	HOSPITAL/MEDICAL PLANS	15,835
033300-2400	GROUP INSURANCE	832	033300-24	GROUP INSURANCE	832
033300-2510	NON HYBRID S/T/ DISABILITY	492	033300-25	NON HYBRID S/T/ DISABILITY	492
033300-2600	UNEMPLOYMENT INSURANCE	50	033300-26	UNEMPLOYMENT INSURANCE	50
033300-2710	WORKERS' COMPENSATION	100	033300-27	WORKERS' COMPENSATION	100
033300-3160	PROFESSIONAL SERVICES - OTHER	100	033300-31	PROFESSIONAL SERVICES - OTHER	100
033300-3310	REPAIRS & MAINTENANCE	50	033300-33	REPAIRS & MAINTENANCE	50
033300-3330	ELECTRONIC MONITORING EQUIP.	2,000	033300-33	ELECTRONIC MONITORING EQUIP.	2,000
033300-5210	POSTAL SERVICES	200	033300-52	POSTAL SERVICES	200
033300-5230	TELECOMMUNICATIONS PHONES	800	033300-52	TELECOMMUNICATIONS PHONES	800
033300-5231	TELECOMMUNICATIONS WIRELESS	3,500	033300-52	TELECOMMUNICATIONS WIRELESS	3,500
033300-5305	MOTOR VEHICLE INSURANCE	500	033300-53	MOTOR VEHICLE INSURANCE	500
033300-5510	TRAVEL (MILEAGE)	-	033300-55	TRAVEL (MILEAGE)	-
033300-5540	TRAVEL (CONVENTION & EDUCATION)	-	033300-55	TRAVEL (CONVENTION & EDUCATION)	-
033300-5810	DUES & ASSOCIATION MEMBERSHIPS	200	033300-58	DUES & ASSOCIATION MEMBERSHIPS	200
033300-5840	WORKSITE RECOGNITION	100	033300-58	WORKSITE RECOGNITION	100
033300-6001	OFFICE SUPPLIES	1,000	033300-60	OFFICE SUPPLIES	1,000
033300-6008	VEHICLE/POWER EQUIPMENT FUELS	500	033300-60	VEHICLE/POWER EQUIPMENT FUELS	500
033300-6009	VEHICLE & POWER EQUIP SUPPLIES	250	033300-60	VEHICLE & POWER EQUIP SUPPLIES	250
033300-6014	OTHER OPERATING SUPPLIES	551	033300-60	OTHER OPERATING SUPPLIES	551
033300-6021	TRAINING AND RESOURCE MATERIAL	250	033300-60	TRAINING AND RESOURCE MATERIAL	250
033300-6050	COMPUTER ASSET (NOT CAPITAL)	-	033300-60	COMPUTER ASSET (NOT CAPITAL)	-
033300-8202	FURNITURE & FIXTURES	-	033300-82	FURNITURE & FIXTURES	-
033300-8205	MOTOR VEHICLES & EQUIPMENT	-	033300-82	MOTOR VEHICLES & EQUIPMENT	30,000
	USE OF FUND BALANCE			USE OF FUND BALANCE	
	--TOTAL DEPARTMENT--	193,774		--TOTAL DEPARTMENT--	223,774

**RESOLUTION 22-84  
AMENDMENT TO THE KING WILLIAM COUNTY FISCAL YEAR 2023 BUDGET  
VJCCCA COMMUNITY CONNECTION PROGRAM**

**WHEREAS** the King William County Board of Supervisors wishes to amend its Fiscal Year (FY) 2023 Budget to appropriate funds from VJCCCA/Community Connection Program fund balance (Fund 737); and

**WHEREAS** VJCCCA/Community Connection Program, servicing the counties of King William (Fiscal Agent), King & Queen, Charles City, Middlesex and New Kent, has obtained the approval of the County Administrators to add \$30,000 for the purchase of a new vehicle from the VJCCCA Program Fund Balance to the FY2023 Budget; and

**NOW, THEREFORE, BE IT RESOLVED** that the King William County Board of Supervisors does hereby authorize and appropriate the following amendments to the 2022-2023 Budget, such line items increased as follows, which monies shall be expended for purposes as authorized and approved by the Board of Supervisors:

**FUND/ORGANIZATION**

VJCCCA Fund 737		
Expenditures:		
Contingency	737-091900-5840	\$30,000
VJCCCA Fund 737		
Revenues:		
Use of Fund Balance	737-041999-0737	\$30,000

**DONE** this 3rd day of October, 2022.

## **AGENDA ITEM 4.b.**

**Resolution 22-85** - Authorizing County Administrator to Sign Deed of Gift & Expressing Gratitude to Carlyle P. Clements & Brenda H. Clements - Steve Hudgins, Deputy County Administrator

**RESOLUTION 22-85**

**AUTHORIZING THE COUNTY ADMINISTRATOR TO SIGN DEED OF GIFT CONVEYING  
REAL PROPERTY OR INTERESTS THEREIN TO KING WILLIAM COUNTY AND  
EXPRESSING GRATITUDE TO CARLYLE P. CLEMENTS AND BRENDA H. CLEMENTS FOR  
SAME**

**WHEREAS** Carlyle P. Clements and Brenda H. Clements, as trustees of the Carlyle P. Clements and Brenda H. Clements revocable living trust have executed a Deed of Gift to the Board of Supervisors of King William County of a parcel of land designated as “Public Utility Lot, Tax Map 28-32 (Portion)” along with a certain non-exclusive easement further described on such Deed of Gift attached hereto; and

**WHEREAS** §15.2-1803 of the Code of Virginia provides that no deed purporting to convey real estate to a locality shall be valid unless accepted by the locality; and

**WHEREAS** that statute also requires that such acceptance appear on the face of the deed or on a separately recorded instrument and be executed by a person authorized to act on behalf of the locality; and

**WHEREAS** the Board of Supervisors wishes to authorize the County Administrator to act in its behalf in accepting certain deeds conveying real property or any interests therein to the County;

**NOW, THEREFORE, BE IT RESOLVED** by the King William County Board of Supervisors this 3rd day of October, 2022 that the County Administrator is hereby authorized to act on behalf of King William County in accepting the Deed of Gift from Carlyle P. Clements and Brenda H. Clements, as trustees of the Carlyle P. Clements and Brenda H. Clements revocable living trust; and

*Proposed for Adoption by King William County Board of Supervisors  
October 3, 2022 Work Session Meeting*

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24 **BE IT FURTHER RESOLVED**, the County Administrator is authorized to evidence such  
25 acceptance by signing a statement of acceptance appearing on the face of any and all such  
26 deeds or by signing a separately recorded instrument, provided that any such deed or  
27 instrument is approved as to form by the County Attorney or other qualified attorney  
28 selected by this board; and

29 **BE IT FURTHER RESOLVED** that the King William County Board of Supervisors does  
30 express its sincere gratitude to Carlyle P. Clements and Brenda H. Clements for this Deed of  
31 Gift to the County.

32 **DONE** this 3rd day of October, 2022.

DRAFT

Tax Parcel Map No. Portion of 28-32  
Consideration: \$0.00  
Assessed Value: \$0.00

Exempt from recordation tax pursuant to Virginia  
Code § 58.1-811(A)(3), 58.1-811(D).

### DEED OF GIFT

**THIS DEED OF GIFT** is made this \_\_\_ day of \_\_\_, 2022, by and between **CARLYLE P. CLEMENTS and BRENDA H. CLEMENTS, as TRUSTEES of the CARLYLE P. CLEMENTS and BRENDA H. CLEMENTS REVOCABLE LIVING TRUST dated March 23, 2011 (“Grantor”)**, and the **BOARD OF SUPERVISORS OF KING WILLIAM COUNTY, VIRGINIA**, a political subdivision of the Commonwealth of Virginia having an address of 180 Horse Landing #4, King William, VA 23086 (**“Grantee”**).

### WITNESSETH:

For good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Grantor does hereby GRANT, GIFT, and CONVEY with GENERAL WARRANTY and English covenants of title unto the Grantee the real property described as follows:

All that certain lot, piece or parcel of land, with improvements thereon and appurtenances thereto belonging, lying and being in Acquinton Magisterial District, King William County, Virginia, designated as “Public Utility Lot, Tax Map 28-32 (Portion), Zone: A-C, 0.3030 Acres,” as shown on that plat of subdivision made by Bowman Consulting Group, dated August 31, 2022, entitled “Subdivision for a Public Utility Lot of the Property of Carlyle P. Clements and Brenda H. Clements Revocable Trust,” which is recorded in the Clerk’s Office of the Circuit Court of King William County, Virginia (the “Clerk’s Office”) at Plat Book \_\_, Page \_\_ (the “Subdivision Plat”).

TOGETHER WITH a non-exclusive easement in perpetuity over, across, above, under, and through the area shown as “Proposed 40’ Right-of-Way” on the Subdivision Plat for any use or improvement related or accessory to the property conveyed herein, consistent with the rights of localities in rights-of-way generally; including the ability of Grantee to contract with third parties and grant or assign rights necessary to provide utilities and services necessary or desired for the use of the property conveyed herein.

Prepared by:

Maxwell C. Hlavin, Esq. (VSB # 86066)  
Sands Anderson PC  
P.O. Box 1998  
1111 East Main St.  
Richmond, VA 23218-1998  
804-648-1636 (telephone)  
804-783-7291 (facsimile)

[made without benefit of title examination or insurance]

SUBJECT TO the right of Grantor to traverse the area shown as “Proposed 40’ Right-of-Way” on the Subdivision Plat in accordance with the Grantee’s reasonable regulation of such area for access to and use of the property conveyed herein.

BEING a portion of the same real estate conveyed to Grantor by corrected deed of partition and boundary adjustment dated September 14, 2022 and recorded September 15, 2022 in the aforesaid Clerk’s Office, as Instrument No. 220002536, and further described on Plat Book 27, Page 166; said deed being a correction of the deed of partition and boundary adjustment dated July 13, 2022 and recorded July 18, 2022 in the aforesaid Clerk’s Office, as Instrument No. 220001973.

WITNESS the following signatures and seals effective as of the first date written above.

GRANTOR:

**CARLYLE P. CLEMENTS, as TRUSTEE of the  
CARLYLE P. CLEMENTS and BRENDA H.  
CLEMENTS REVOCABLE LIVING TRUST  
dated March 23, 2011**

\_\_\_\_\_ (SEAL)

COMMONWEALTH OF VIRGINIA  
COUNTY/CITY OF \_\_\_\_\_, to-wit:

The foregoing instrument was acknowledged before me this \_\_\_ day of \_\_\_\_\_, 2022, by Carlyle P. Clements, as Trustee of the Carlyle P. Clements and Brenda H. Clements Revocable Living Trust dated March 23, 2011.

\_\_\_\_\_  
Notary Public

Registration No.: \_\_\_\_\_  
My commission expires: \_\_\_\_\_

GRANTOR:

**BRENDA H. CLEMENTS, as TRUSTEE of the  
CARLYLE P. CLEMENTS and BRENDA H.  
CLEMENTS REVOCABLE LIVING TRUST  
dated March 23, 2011**

\_\_\_\_\_ (SEAL)

COMMONWEALTH OF VIRGINIA

COUNTY/CITY OF \_\_\_\_\_, to-wit:

The foregoing instrument was acknowledged before me this \_\_\_ day of \_\_\_\_\_, 2022, by Brenda H. Clements, as Trustee of the Carlyle P. Clements and Brenda H. Clements Revocable Living Trust dated March 23, 2011.

\_\_\_\_\_  
Notary Public

Registration No.: \_\_\_\_\_

My commission expires: \_\_\_\_\_

ACCEPTED:

The signature of Percy C. Ashcraft, County Administrator of King William County, a political subdivision of the Commonwealth of Virginia, is affixed below to evidence the acceptance of this deed by the Board of Supervisors of King William County, Virginia, by resolution approved on September 26, 2022, in accordance with Code of Virginia § 15.2-1803, a copy of which resolution is attached as Exhibit A and recorded herewith.

By: \_\_\_\_\_ (SEAL)  
(Printed) \_\_\_\_\_  
Chairman of the Board

COMMONWEALTH OF VIRGINIA  
COUNTY/CITY OF \_\_\_\_\_, to-wit:

The foregoing instrument was acknowledged before me this \_\_\_ day of \_\_\_\_\_, 2022, by Percy C. Ashcraft, County Administrator of King William County, Virginia.

\_\_\_\_\_  
Notary Public

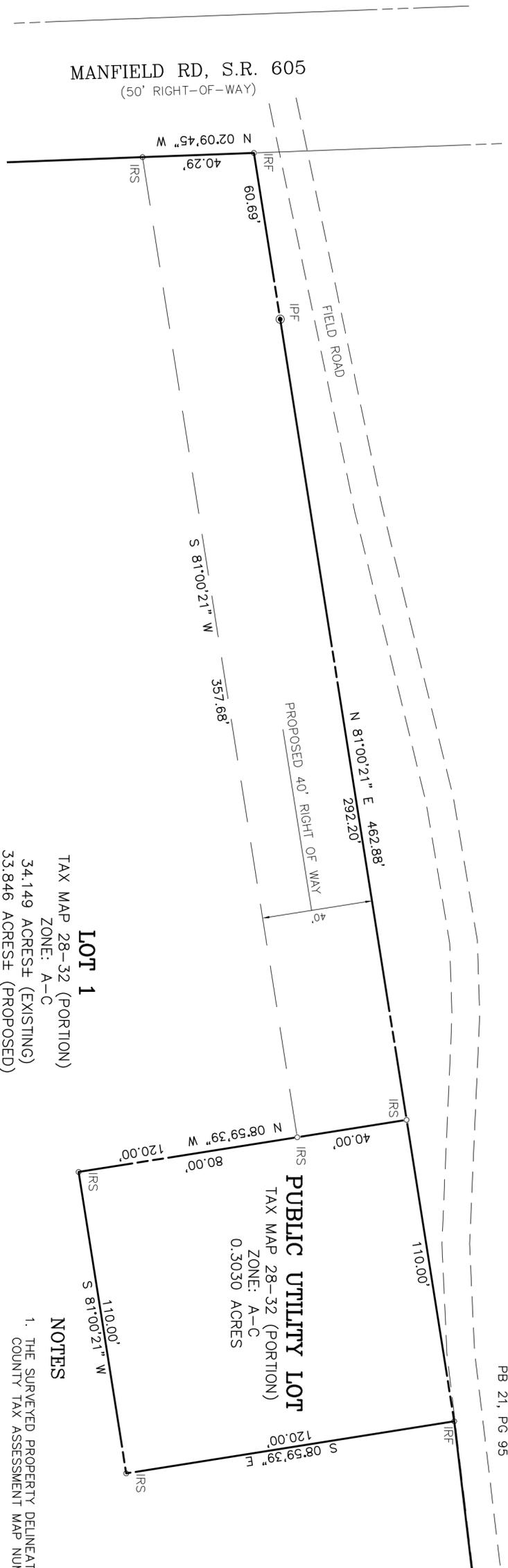
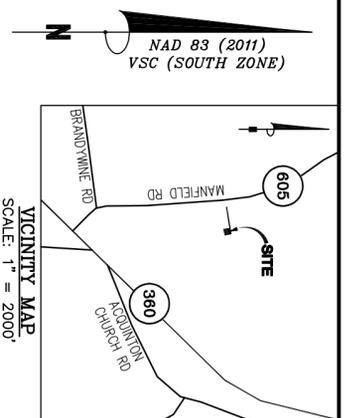
Registration No.: \_\_\_\_\_

My commission expires: \_\_\_\_\_

Approved as to form:

\_\_\_\_\_  
Andrew R. McRoberts, Esq.  
County Attorney for King William County, Virginia

CLEMENTS FARMS, INC  
 TAX MAP 28-22  
 INST #001900417  
 PB 21, PG 95



**OWNER'S CONSENT AND DEDICATION**

THE PLATTING OR DEDICATION OF THE LAND SHOWN ON THIS PLAT, CONTAINING 68.298 ACRES, MORE OR LESS, SITUATED IN THE ACQUINTON MAGISTERIAL DISTRICT OF KING WILLIAM COUNTY, VIRGINIA, AND DESCRIBED AS SECTION 28, PARCEL 32 ON THE KING WILLIAM COUNTY TAX MAPS, IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE OF THE UNDERSIGNED OWNERS, PROPRIETORS, AND TRUSTEES, IF ANY, GIVEN UNDER OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

CARLYLE P. CLEMENTS, TRUSTEE

BRENDA H. CLEMENTS, TRUSTEE

**NOTARY CERTIFICATE**

COMMONWEALTH OF VIRGINIA  
 CITY / COUNTY OF \_\_\_\_\_ TO-WIT:

I, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE JURISDICTION AFORESAID, DO HEREBY CERTIFY THAT CARLYLE P. CLEMENTS AND BRENDA H. CLEMENTS, WHOSE NAME IS SIGNED TO THE FOREGOING INSTRUMENT, IN THEIR CAPACITY AS OWNERS, EXECUTED AND ACKNOWLEDGED THE SAME IN SUCH CAPACITY BEFORE ME IN MY JURISDICTION AFORESAID.

GIVEN UNDER MY HAND THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
 MY COMMISSION EXPIRES: \_\_\_\_\_

NOTARY PUBLIC \_\_\_\_\_

**SYMBOL LEGEND**

- IRF ○ 5/8" IRON ROD (REBAR) FOUND
- IRS ○ 5/8" IRON ROD (REBAR) SET
- IPF ● IRON PIPE FOUND
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- FENCE
- CREEK

**LOT 1**

TAX MAP 28-32 (PORTION)  
 ZONE: A-C  
 34.149 ACRES± (EXISTING)  
 33.846 ACRES± (PROPOSED)

**PUBLIC UTILITY LOT**

TAX MAP 28-32 (PORTION)  
 ZONE: A-C  
 0.3030 ACRES

**NOTES**

1. THE SURVEYED PROPERTY DELINEATED HEREON IS LOCATED ON KING WILLIAM COUNTY TAX ASSESSMENT MAP NUMBER 28-32.
2. THE SURVEYED PROPERTY IS NOW IN THE NAME OF CARLYLE P. CLEMENTS AND BRENDA H. CLEMENTS TRUSTEES OF THE CARLYLE P. CLEMENTS AND BRENDA H. CLEMENTS REVOCABLE TRUST, AND IS RECORDED IN INSTRUMENT NUMBER # 220002536 AND PLAT BOOK 27 PAGE 165 AND 166 AMONG THE LAND RECORDS OF KING WILLIAM COUNTY, VIRGINIA.
3. BOUNDARY INFORMATION AS SHOWN HEREON IS BASED ON A CURRENT FIELD SURVEY PERFORMED BY BOWMAN CONSULTING GROUP, LTD. COMPLETED ON APRIL 8, 2022.
4. THE HORIZONTAL DATUM AS REFERENCED HEREON WAS ESTABLISHED BY GPS CONTROL METHODS. THE HORIZONTAL DATUM IS REFERENCED TO VIRGINIA STATE GRID, SOUTH ZONE, NAD83 (2011).
5. CURRENT ZONING: A-C
6. THE SURVEYED PROPERTY AS SHOWN HEREON IS SUBJECT TO ALL COVENANTS AND RESTRICTIONS OF RECORD AND THOSE RECORDED HEREWITH. THIS SURVEY/PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY NO SHOW ALL EASEMENTS, RESTRICTIONS AND COVENANTS OF RECORD THAT MAY IMPACT THE AREA SHOWN.
7. THE SURVEYED PROPERTY AS SHOWN HEREON LIES WITHIN FLOOD ZONE AE AND IN ZONE "X" (UN-SHADED)(AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD) AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP FOR KING WILLIAM COUNTY, VIRGINIA, COMMUNITY-PANEL NUMBER 51101C0135D, EFFECTIVE DATES JULY 20, 2009.

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, ALL OF THE REQUIREMENTS OF THE KING WILLIAM COUNTY SUBDIVISION ORDINANCE HAVE BEEN COMPLIED WITH.

TITLE TO THE LAND BEING SUBDIVIDED AS SHOWN ON THIS PLAT RESTS WITH, CARLYLE P. CLEMENTS AND BRENDA H. CLEMENTS TRUSTEES OF THE CARLYLE P. CLEMENTS AND BRENDA H. CLEMENTS REVOCABLE TRUST HAVING BEEN CONVEYED BY CORRECTED DEED OF PARTITION DATED SEPTEMBER 14, 2022, AND RECORDED IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT OF KING WILLIAM COUNTY IN INSTRUMENT # 220002536.

GIVEN UNDER MY HAND THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

BENJAMIN STALLINGS, LS DATE: \_\_\_\_\_

SCALE: 1" = 200'

DATE: 09/16/2022



REVISION	TASK	COUNTY REF NO. ?	SHEET 1 OF 1
	01		

Bowman Consulting Group, Ltd.  
 3961 Westerre Parkway, Suite 160  
 Richmond, Virginia 23233  
 Phone: (804) 616-3240  
 Fax: (804) 270-2008  
 www.bowman.com

## **AGENDA ITEM 4.f.**

Update Property Maintenance Ordinance to Comply with State Code - Sherry  
Graham, Director of Planning



King William County  
Est. 1702

Board of Supervisors

County Administrator

William L. Hodges, First District  
Travis J. Moskalski, Second District  
Stephen K. Greenwood, Third District  
C. Stewart Garber, Jr., Fourth District  
Edwin H. Moren, Jr., Fifth District

**DATE:** October 3, 2022  
**TO:** King William County Board of Supervisors  
**FROM:** Sherry Graham, Director of Planning  
**SUBJECT:** Changes to the Property Maintenance Code

### **REQUEST FOR ACTION**

- Provide guidance as to whether to move forward with the amendments to the current Ordinance relating to weeds, debris, and the adoption of the 2018 Virginia Maintenance Code. Also, review the removal of Section 14-232 or 74-201.1 relating to inoperative vehicles.

### **SUMMARY**

The County Ordinance has not been updated since 2000; therefore, updates need to be made to incorporate the changes made by the Virginia Department of Housing and Community Development and with the adoption of the 2018 Virginia Maintenance Code. Attached are the changes which are noted in red. The changes are made due to the USBC changes and are needed to correct code references and expedite enforcement time on violation notices. Staff will make every effort possible to work with someone that is working and progressing on the abatement of a violation.

### **BACKGROUND**

The USBC is currently adopted in the County Ordinance, which includes all property maintenance regarding existing buildings and structures. The County Ordinance does need to continue addressing exterior property issues such as trash and debris, weeds, and inoperative vehicles.

### **ATTACHMENTS**

- Current Property Maintenance Ordinance

180 Horse Landing Road #4 ● King William, Virginia 23086  
804-769-4927 ● fax: 804-769-4964  
[www.kingwilliamcounty.us](http://www.kingwilliamcounty.us)

**PROPOSED**

**KING WILLIAM COUNTY**

**PROPERTY MAINTENANCE CODE**

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**Sec. 74-201.1. Keeping of inoperative motor vehicles on property zoned for residential, commercial or agricultural purposes.**

- (a) It shall be unlawful for any person, firm, or corporation to keep, except within a fully enclosed building or structure, or otherwise shielded or screened from view from all adjacent properties and public rights-of-way by a person standing at ground level, on any property zoned for residential, commercial or agricultural purposes pursuant to chapter 86, zoning, of this Code, any motor vehicle, trailer or semitrailer as defined by Code of Virginia § 46.2-100, which is inoperative.
- (b) It shall be unlawful for any person, firm, or corporation on any property zoned R-C Rural Conservation, R-R Rural Residential or R-1 Suburban Residential pursuant to chapter 86, zoning, of this Code to keep more than one inoperative motor vehicle, trailer or semitrailer even if shielded or screened from view by covers, unless they are kept within a fully enclosed building or structure. Notwithstanding the forgoing, however, if the owner of such vehicle shielded or screened from view but not within a fully enclosed building or structure, can demonstrate that he is actively restoring or repairing the vehicle, the vehicle and one additional inoperative motor vehicle that is shielded or screened from view and being used for the restoration or repair may remain on the property.
- (c) As used in this section, an "inoperative motor vehicle" shall mean any motor vehicle, trailer or semitrailer which is not in operating condition, or, which for a period of 60 days or longer, has been partially or totally disassembled by the removal of tires and wheels, the engine, or other essential parts required for operation of the vehicle, or on which are displayed neither valid license plates nor a valid inspection decal.
- (d) The provisions of this section shall not apply to a business licensed by the county and regularly engaged in business as an automobile dealer, automobile repair facility, automobile salvage dealer, salvage dealer, or scrap processor, nor to trailers or semitrailers used for storage and located on property as accessory uses to active agricultural operations.
- (e) The owners of property zoned for residential, commercial or agricultural purposes shall, on and after the effective of the ordinance adopting this Code section, comply with the requirements of this section.
- (f) The county administrator, or the county administrator's designee, may remove or cause to be removed any inoperative motor vehicle, trailer or semitrailer stored in violation of this section whenever the owner of the premises, after 15 days' written notice, has failed to do so. In the event that the county administrator has removed or caused such a removal, he may, after giving an additional 15 days' written notice to the owner of such a vehicle and the owner of the premises, dispose of the vehicle. The cost of any such removal and disposal shall be charged to the owner of the premises or to the owner of the vehicle, and the treasurer shall collect such charges as taxes and levies are collected.
- (g) Every cost authorized by this section with which the owner of the premises has been assessed shall constitute a lien against the property from which the vehicle has been removed, the lien to continue until actual payment of such costs has been made to the county.
- (h) Failure to remove a vehicle when notified to do so within the time specified for removal shall constitute a misdemeanor, punishable by a fine of not more than \$500.00, and each day that any such violation shall continue shall constitute a separate offense.

(Ord. No. 15-12(R)(1), 11-23-2015)

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Secs. 14-103—14-120. Reserved.

### **ARTICLE III. PROPERTY MAINTENANCE CODE AND REGULATIONS<sup>1</sup>**

#### **DIVISION 1. GENERALLY**

##### **Sec. 14-121. Code adopted.**

The city's County's Property Maintenance Code shall be in accordance with the Virginia Maintenance Code ~~BOCA National Property Maintenance Code~~, as adopted by the County.

Secs. 14-122—14-140. Reserved.

#### **DIVISION 2. ADMINISTRATION<sup>2</sup>**

##### **Sec. 14-141. Failure to maintain property or structures.**

The failure to maintain property and/or structures, residential and nonresidential, including surrounding areas, shall constitute violations of the property Virginia Maintenance Code.

(Ord. of 1-24-2000, § 4-3.7.1)

##### **Sec. 14-142. Enforcement of article provisions.**

- ya) Notice of failure to maintain shall be given to the owner or occupant by **first class mail**, certified mail, or personal delivery by a County official. The ~~first~~ notice, if not an immediate health, safety or welfare issue, shall allow ~~60~~ **30** days for compliance. ~~If at the end of 60 days, a second and final notice shall be given for an additional 15 days for compliance.~~ The allowable time for emergency correction notices shall be at the code official's discretion. If the owner or occupant fails to comply with this order, the code official shall contract with available sources to abate the violations, and all costs incurred shall be the responsibility of the owner of such property. Such costs and expenses incurred shall be collected by the county as taxes and levies are collected. Every charge to the owner, which remains unpaid, shall constitute a lien against such property on a parity with liens for unpaid taxes.
- yb) The county may as an alternative, issue a summons for abatement of the violations in subsection (a) of this section.
- yc) This section is in addition to the ~~BOCA National Property~~ Virginia Maintenance Code.

(Ord. of 1-24-2000, § 4-3.7-1.1)

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<sup>1</sup>State law reference(s)—Nuisances, removal of buildings, etc., Code of Virginia, § 15.2-900 et seq.; Virginia Uniform Statewide Building Code, Code of Virginia, § 36-97 et seq.

<sup>2</sup>Cross reference(s)—Administration, ch. 2.

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**Sec. 14-143. Penalties for violation of property maintenance code.**

Violations of the property **Virginia Maintenance Code** shall be punishable as provided in Code of Virginia, § 36-106.

(Ord. of 1-24-2000, § 4.3-7.2)

**Secs. 14-144—14-160. Reserved.**

*DIVISION 3. AMENDMENTS*

**Sec. 14-161. Future amendments.**

Future amendments for this article shall change automatically with the Virginia Uniform Statewide Building Code, as adopted by the State Board of Housing and Community Development (VCHD) per Code of Virginia, § 36-97 et seq., and shall become effective concurrently with the USBC Amendments.

(Ord. of 1-24-2000, § 4-3.25)

**Sec. 14-162. Scope of county authority.**

Local governments have not been given authority to amend the provisions of the USBC.

(Ord. of 1-24-2000, § 4-3.26)

**Secs. 14-163—14-180. Reserved.**

*DIVISION 4. OPERATIONAL REGULATIONS*

**Subdivision I. In General**

**Sec. 14-181. Definitions. (Remove Section, Located in the Virginia Maintenance Code)**

**Subdivision II. Administration<sup>3</sup>**

Section 14-201. Scope and intent of division. (Remove Section, Located in the Virginia Maintenance Code)

Section 14-202. Saving clause. (Remove Section, Located in the Virginia Maintenance Code)

Section 14-203. Duties and powers of the code official. (Remove, Located in the Virginia Maintenance Code)

Section 14-204. Violations. (Remove Section, Located in the Virginia Maintenance Code)

Section 14-205. Notices and orders. (Remove Section, Located in the Virginia Maintenance Code)

Section 14-206. Emergency measures. (Remove Section, Located in the Virginia Maintenance Code)

(Supp. No. 23)

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Created: 2022-05-26 10:02:19 [EST]

Section 14-207. Means of appeal. (Remove Section, Located in the Virginia Maintenance Code)

Sec. 14-202. Saving clause. (Remove, Located in the Virginia Maintenance Code)

Sec. 14-203. Duties and powers of the code official. (Remove, Located in the Virginia Maintenance Code.)

Sec. 14-204. Violations. (Remove, Located in the Virginia Maintenance Code)

Sec. 14-205. Notices and orders. (Remove, Located in the Virginia Maintenance Code)

Sec. 14-206. Emergency measures. (Remove, Located in the Virginia Maintenance Code)

Sec. 14-207. Means of appeal. (Remove, Located in the Virginia Maintenance Code)

### Subdivision III. General Requirements

Sec. 14-231. Exterior property areas.

- a) Scope. The provisions of this article shall govern the minimum conditions and the responsibilities of persons for maintenance of exterior property.
- b) Responsibility. The owner of the premises shall maintain the exterior property in compliance with these requirements. A person shall not occupy as owner-occupant or permit another person to occupy premises which do not comply with the requirements of this article.
- c) Vacant land. All vacant premises thereof or vacant land shall be maintained in a clean, safe, secure, and sanitary condition as provided in this section so as not to cause a blighting problem or adversely affect the public health or safety.
- d) Sanitation. All exterior property and premises shall be maintained in a clean, safe, and sanitary condition. The occupant shall keep that part of the exterior property, which such occupant occupies, or controls in a clean and sanitary condition.
- e) Grading and drainage. All premises shall be graded and maintained to prevent the erosion of soil and to prevent the accumulation of stagnant water thereon. Exception: Water retention areas and reservoirs approved by the code official.
- f) Sidewalks and driveways. All sidewalks, walkways, stairs, driveways, parking spaces and similar areas shall be kept in a proper state of repair, and maintained free from hazardous conditions.
- g) Weeds. All premises and exterior property shall be maintained free from weeds or plant growth in excess of ten inches (254 mm). All noxious weeds shall be prohibited. Weeds shall be defined as all grasses, annual plants, and vegetation, other than trees or shrubs; provided, however, that this term shall not include cultivated flowers and gardens.
- h) Rat harborage. All exterior property shall be kept free from rat infestation. Where rats are found, they shall be promptly exterminated by approved processes, which will not be injurious to human health. After extermination, proper precautions shall be taken to prevent reinfestation.

**Accumulation of grass or weeds. It shall be unlawful for any person responsible for real property within the County, including the area adjoining such property extending to the paved portion of the roadway, to permit the accumulation of grass or weeds. Grass or weeds exceeding a height of ten (10) inches on such property within one hundred fifty (150) feet of any building shall be considered detrimental to the health, safety, peace, good order, comfort, convenience, morals, or general welfare of the citizens of the**

County. Grass or weeds exceeding a height of ten (10) inches, regardless of their location, shall be presumed to be detrimental to the health, safety, peace, good order, comfort, convenience, morals, or general welfare of the citizens of the County.

This section shall not apply to farm land, unless such farm land is within one hundred (150) feet of a structure of another owner on an adjacent tract or parcel of land.

Sec. 14-232. Motor vehicles.

- a) Keeping of inoperative motor vehicle or trailer. Except as provided for in subsection (b) of this section, not more than one currently unregistered or uninspected motor vehicle or trailer shall be parked, kept, or stored on any premises, and no vehicle shall at any time be in a state of major disassembly, disrepair, or in the process of being stripped or dismantled.

Exception: A vehicle of any type is permitted to undergo major overhaul, including body work, provided that such work is performed inside a structure or similarly enclosed area designed and approved for such purposes.

- b) Keeping of more than one inoperative motor vehicles or trailers. It shall be unlawful for any person, firm or corporation to keep more than one inoperative motor vehicle or trailer, except within a fully enclosed building, structure or screened from view by fence not less than six feet in height. The fence shall be of approved fencing material to fully screen vehicles from public view on any property zoned for residential, commercial or agricultural purposes, any motor vehicle or trailer, as such are defined in Code of Virginia, § 46.2-100, which is inoperative. As used in this section, an inoperative motor vehicle shall mean any motor vehicle which is not in operating condition; or which, for a period of 30 days or longer, has been partially or totally disassembled by the removal of tires and wheels, the engine or other essential parts required for operation of the vehicle or on which there are displayed neither valid license plates nor a valid inspection decal. Use of tarps, or the like shall not constitute correction of the violation.
- c) ~~Removal of inoperative motor vehicles. The owners of property zoned for residential, commercial or agricultural purposes shall, within 60-30 days after receiving written notice from the county, remove therefrom any such inoperative motor vehicles or trailers that are not kept within a fully enclosed building, structure or screened from public view by a fence. If at the end of 60-30 days, a second and final notice shall be given for an additional 15 days. Upon failure to remove such vehicles after final notice, the county through its agents or employees, shall remove such inoperative motor vehicles or trailers. If the county removes any such motor vehicles or trailers, the county may dispose of such motor vehicles or trailers after giving 15 days' notice to the owner of the vehicle. The cost of any such removal and disposal shall be chargeable to the owner of the vehicle who shall be primarily responsible for such cost. If the county cannot collect from the owner of the vehicle, the owner of the premises shall be responsible for the cost. Such cost may be collected by the county as taxes and levies are collected. Every cost authorized by this section with which the owner of the premises has been assessed shall constitute a lien against the property from which the vehicle was removed, the lien to continue until actual payment of such costs has been made to the county. The county may, as an alternative, issue a summons for abatement of these violations.~~

Sec. 13-190. Disposal of vehicle.

Any vehicle removed by the County from any property may be disposed of in accordance with the provisions of County Code.

(Ord. of 1-24-2000, § 4.5-13)

Sec. 14-233. Rubbish and garbage.

- a) Accumulation of rubbish and garbage. All exterior property and premises, shall be free from any accumulation of rubbish and garbage.
- b) Disposal of rubbish. Every occupant of a premises shall dispose of all rubbish in a clean and sanitary manner by placing such rubbish in approved containers.
- c) Rubbish storage facilities. The owner of every occupied premises shall supply approved covered containers for rubbish, and the owner of the premises shall be responsible for the removal of rubbish.
- d) Disposal of garbage. Every occupant of a premises shall dispose of garbage in a clean and sanitary manner by placing such garbage in an approved garbage disposal facility or approved garbage containers.
- e) Garbage facilities. The owner of every premises shall supply an approved leakproof, covered, outside garbage container.

Accumulation rubbish or garbage. It shall be unlawful for any person responsible for real property within the County, including the area adjoining such property extending to the paved portion of the roadway, to permit the accumulation of rubbish or garbage.

Upon the failure, neglect or refusal of any person responsible for real property to keep the property free of rubbish or garbage, the Director of Planning is authorized to have the rubbish or garbage removed by County forces or by contract; and the actual cost of such removal, plus a charge for administrative costs of one hundred fifty dollars (\$150.00) shall be charged to such person to whom the notice was directed.

Sec. 14-234. Extermination.

- a) Infestation. All premises shall be kept free from insects and rat infestation. All premises in which
- b) insects or rats are found shall be promptly exterminated by approved processes that will not be injurious to human health. After extermination, proper precautions shall be taken to prevent reinfestation.
- c) Owner. The owner of any premises shall be responsible for extermination prior to renting or leasing the premises.
- d) Occupant. The occupant of a premises shall be responsible for extermination on the premises. The occupant of any premises shall be responsible for the continued rat free condition of the premises, and if the occupant fails to maintain the rat free condition, the cost of extermination shall be the responsibility of the occupant.



## **AGENDA ITEM 4.g.**

FY24 Capital Projects - Percy C. Ashcraft, County Administrator

**KING WILLIAM COUNTY**  
**FY2024 DEPARTMENT CAPITAL REQUESTS**  
**DEADLINE FOR REQUEST 9/15/22**

<u>REQUESTOR</u>	<u>PROJECT</u>	<u>DESCRIPTION</u>	<u>ESTIMATE COST</u>	
County Administrator Percy Ashcraft	DSS & VDH	Design and Construct new building		
	HHMS RECREATION AREA	Upgrades		
	RECREATION PARK	Reconfigure parking scheme		
	ZOAR & SANDY POINT	Upgrades		
	LIBRARY	Design and Construct new building		
	COURTHOUSE COMPLEX	Design village layout between old and new courthouse		
	JOINT GARAGE	Design and build joint county&school garage		
	"GREEN SPACE" ON RT 30	Design plan to turn green space in front of old courthouse into a park		
	NEWPORT NEWS PROPERTY	Design plan to utilize		
	STATION 1 PARKING/ELECTION	Paving of Station 1 parking lot for election compliance		
General Properties Franky Reed	VEHICLE	Replace of F150 2WD Pick Up	\$ 40,000	
		Custodians Vehicle	Veda's old one?	
		Park Maintenance	Franky's old one?	
	HISTORIC COURTHOUSE	Repair and renovate the interior walls of the "old jailhouse" Plaster is peeling off the walls	\$ 80,000	
	HISTORIC MUSEUM BLDG	Waterproofing/Dehumidifying of basement	\$ 50,000	
	360 COMPLEX STATION 1	Pavement for parking area	\$ 300,000	
	COURTHOUSE	HVAC Replacements	\$ 50,000	
		Roofing	\$ 100,000	
		Resealing of pavement	\$ 50,000	
		Carpet replacement in Sheriff's Office area	\$ 40,000	
		Painting Sheriff's Office area	\$ 3,000	
		Next 3-5 years replacement of (2) Emergency Recovery Units -HVAC system	\$ 60,000	
	JUVENILE BLDG	Painting of exterior building	\$ 2,000	
	BALLPARK	Field #4-infield dirt and material need to renovate	\$ 10,000	
		Remodeling interior & painting exterior of the Community Rec room	\$ 10,000	
			\$ 30,000	
		Culvert pipe and gravel for large, deep ditch along the side of the entrance road near the rear of the Comm Bldg	\$ 4,000	
	ADMIN BLDG	Masonry repairs	\$ 40,000	
		Carpet and renovating of the Board Room	\$ 80,000	
	EQUIPMENT	Lawn mower for cutting grass on fields -HHMS	\$ 20,000	
		Dump trailer for hauling material to multi locations	\$ 20,000	
		Trailer hitches for the (2) existing vans	\$ 600	
		Ladder racks for (2) existing vans	\$ 1,800	
		Power rake attachment for tractor to work the ballfields, soccerfields and youth football fields	\$ 6,000	
	MAINTENANCE DEPT OFFICE/ STORAGE			
	Utilities Josh Sluder	WATER PROJECT	On going	
	Commissioner of Revenue Karena Funkhouser	COUNTER TOP REPLACEMENT		
VJCCA Veda Frazier	ADDITIONAL OFFICE SPACE			
Regional Animal Shelter Lauri Betts	RAS	Install fire suppression system		
		Isolation room		
		Renote to provide laundry and dish washing location separate from the current kitchen which is used for food prep, sterilized hardware and clean bedding storage		
		Install carport cover over the sally port		

REQUESTOR	PROJECT	DESCRIPTION	ESTIMATE COST
Sheriff/E911/Animal Control Sheriff Walton	VEHICLES	(2) Interceptors	\$ 124,000
		Crime Scene Vehicle	\$175-200k
	E911 UPGRADE	upgrade to Emergency Medical Dispatch (EMD)	\$ 75,000

Building Matt Melton	SOFTWARE	operating software for building department with customer portal	
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Parks & Recreation Manager Kayla Huffman	PARK PAVING	Hill Group discussion	
	PARKING BUMPERS	For the Park and Community center to help with parking and traffic control	\$ 22,000
	DOG PARK	Water line and water fountain request as water source for dogs and their owners to utilize when at the facility, will help cut down on trash and litter	\$ 12,000
	SOCCER FIELD FIELD 4	will extend the amount of time these fields can be utilized for practice and games	\$ 300,000
	REC PARK BATHROOMS	Doors for bathrooms with keypad locks	\$ 8,000
	PORTABLE STAGE	Music in the Park events and additional community special events	\$ 25,000

Fire & EMS Chief Stacy Reaves	TURN OUT GEAR		\$ 30,000	
	BRUSH TRUCK		\$ 260,000	
	VEHICLES	Command Vehicle		
		Water Rescue - 2026		
		Tanker- 2028		
		Medic - 2026		
		Ladder Truck		
FIRE HOUSE BUNKROOM	Buildout and Renovation			

Liz Bartol	EOC	WIFI	TBD
		Phones - Hardware and lines (4 lines)	TBD
		Printer, Scanner, Copier and Fax	\$ 1,307
		Laptops	TBD
		Broadband Backup	TBD
		Antenna and relay for cell coverage	
			EOC \$ 13,086
			Station \$ 16,680
		Independent switch, access	TBD
		Monitors, keyboards, and mice	\$ 870
		Software Applications	TBD
		Electronic Door Entry	TBD
		White Boards	COMPLETED
		TV	COMPLETED
		UHF Antenna	\$ 100
		Satellite Phone (wiring)	\$80/month
		Public Service Radio Antenna&Remove Install	TBD
		Tables and chairs for common space	\$ 3,670
		Organization Cabinet Space	\$ 1,071
		Labels and signage	\$ 440
		Inspection- hood and supression	\$ 300
		Cleaning commercial equip	\$ 350
		Kitchen upgrades and cleaning	\$ 1,357
		Podium	\$ 66
		Covers for windows	\$ 1,589
		Toilet replacement (4)	\$ 1,000
		Double door entry (from bay)	\$ 740
		Rehand Kitchen door and secure	TBD
		Roll down for kitchen (physical security)	\$ 3,422
		Generator-upgrade to total building	TBD
		Drops for IT cables	TBD
		Replace stove in kitchen	TBD
		Power supply through ceiling	\$ 460
Outlets added to walls (x4)	\$ 151		
County Maps	no cost		

**REQUESTOR**Deputy Clerk  
Chris Branch

<b>PROJECT</b>	<b>DESCRIPTION</b>	<b>ESTIMATE COST</b>
RECORDS MANAGEMENT	LaserFiche/MCCi scanning old and existing records	\$ 25,000
	implement records management software	\$ 40,000
FOIA PRODUCT	allow public to request and receive records immediately online	\$4,000 /month

Information Technology  
Travis Wolfe

FOUR SWITCHES		
END OF LIFE EQUIP	(5) Laptops	
	(5) Wireless access points	
UPGRADES	phone system	
SERVERS	RAM and storage	

Human Resources  
Nita McInteer

SALARY STUDY		
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## **AGENDA ITEM 4.h.**

FY24 New Personnel Discussion - Percy C. Ashcraft, County Administrator

**KING WILLIAM COUNTY  
 FY2024 DEPARTMENT NEW PERSONNEL REQUESTS  
 DEADLINE FOR REQUEST 9/15/22**

**REQUESTOR**

**PERSONNEL REQUEST**

County Administrator Percy Ashcraft	Reclassify certain Managers to Directors
	Reclassify Deputy Clerk to Clerk of the BOS
	(1) Planner Position
	(1) Park Maintenance Supervisor
	(1) Utility Inspector
	(1) Assessor
	(1) Economic Development staff
General Properties Franky Reed	(1) Maintenance Person for the HHMS Field
Utilities Josh Sluder	none
Commissioner of Revenue Karena Funkhouser	(1) Appraiser@ \$55,000 OR
	(1) COR Deputy @ \$36,000
VJCCCA Veda Frazier	(1) part-time clerical
Regional Animal Shelter Lauri Betts	Reclassify current FT Technician to Supervisor
	(1) FT Program Coordinator
Sheriff/E911/Animal Control Sheriff Walton	none
Parks & Recreation Manager Kayla Huffman	increase salary of Recreation Specialist \$33,109 to \$36,000 to be more in line with other localities
Deputy Clerk Chris Branch	part time Admin Assistant
Fire & EMS	funding source for the \$478,000 that has been funded in FY22 and FY23 from ARPA funds (7) FTE
Information Tech Travis Wolfe	hire current PTE as FTE

## **AGENDA ITEM 4.j.**

West Point Library Discussion - Percy C. Ashcraft, County Administrator



# DAVID A. NICE Builders, Inc.

4571 Ware Creek Road, Williamsburg, VA 23188

(757) 566-3032 • Fax (757) 566-4686 • www.davidnicebuilders.com

BUDGET between David A. Nice Builders, Inc., hereinafter referred to as contractor, party of first part & West Point Library referred to as Owner, party of the second part.

Bid Submitted To: Stephanie Kalantarians <skalantarians@guernseytingle.com>

Project Name: West Point Library

Date: September 14, 2022

Interior Signage	\$ 5,500.00	\$ 7,700.00
Exterior Signage	\$ 14,300.00	\$ 16,500.00
Fire Extinguishers	\$ 1,350.00	\$ 1,800.00
Appliances	\$ 4,500.00	\$ 6,500.00
Relocate AV Systems	\$ 12,500.00	\$ 20,000.00
Relocate FF&E	\$ 32,000.00	\$ 40,000.00
HVAC	\$ 92,290.00	\$ 97,240.00
Plumbing	\$ 44,000.00	\$ 48,950.00
Fire Sprinkler	\$ 27,280.00	\$ 31,460.00
Electric	\$ 101,530.00	\$ 108,570.00
Fire Alarm	\$ 30,800.00	\$ 33,000.00
Tele/Data Comm Systems	\$ 22,550.00	\$ 23,760.00
<b>TOTAL</b>	<b>\$ 924,485.00</b>	<b>\$ 1,059,165.00</b>

## Clarifications

- 1) Alternate: Keep the VCT and lay carpet over - DEDUCT \$ 8500
- 2) We have excluded the following items from this budget:
  - a) Hazardous Material Abatements
  - b) Structural work other than needed for support of the operable partitions
  - c) Handling of library books
- 3) Existing HVAC Equipment repairs are not anticipated in this budget if needed
- 4) We anticipate a 9 to 11 month duration



# DAVID A. NICE Builders, Inc.

4571 Ware Creek Road, Williamsburg, VA 23188

(757) 566-3032 • Fax (757) 566-4686 • www.davidnicebuilders.com

**BUDGET** between **David A. Nice Builders, Inc.**, hereinafter referred to as contractor, party of first part & **West Point Library** referred to as Owner, party of the second part.

Bid Submitted To: **Stephanie Kalantarians <skalantarians@guernseytingle.com>**

Project Name: **West Point Library**

Date: **September 14, 2022**

**DNB proposes the per schematic design dated 09/01/22**

	RANGE	
Permit Fees	\$ 1,575.00	\$ 1,575.00
Bonds	\$ 8,000.00	\$ 10,000.00
Temporary Toilet	\$ 4,730.00	\$ 5,500.00
Job Site Office/Storage Trailers	\$ 5,280.00	\$ 5,940.00
Safety Measures	\$ 2,200.00	\$ 2,640.00
Dumpsters/Debris Removal	\$ 10,780.00	\$ 12,650.00
Plan Copying & Distribution	\$ 880.00	\$ 1,100.00
Site Communications	\$ 1,540.00	\$ 1,760.00
Job Site Supervision	\$ 110,000.00	\$ 125,400.00
Gas/Travel	\$ 5,500.00	\$ 7,700.00
Project Management/Administration	\$ 8,800.00	\$ 11,000.00
Selective Interior Demolition	\$ 47,300.00	\$ 54,450.00
CIP Concrete	\$ 4,950.00	\$ 5,720.00
Slab Cutting & Patching	\$ 6,600.00	\$ 8,250.00
Structural Steel	\$ 22,000.00	\$ 26,400.00
Rough Carpentry/Blocking	\$ 3,850.00	\$ 4,950.00
Built-In Millwork	\$ 49,500.00	\$ 55,000.00
Misc. Carpentry Materials, Trims, Fasteners	\$ 9,200.00	\$ 13,000.00
Sealants/Caulking	\$ 900.00	\$ 1,200.00
Roofing	\$ 6,800.00	\$ 12,000.00
Doors & Hardware	\$ 10,560.00	\$ 11,990.00
Operable Partition	\$ 41,800.00	\$ 46,200.00
Framing/Drywall	\$ 52,360.00	\$ 58,740.00
ACT	\$ 30,580.00	\$ 36,240.00
Carpet	\$ 28,600.00	\$ 34,100.00
Resilient Flooring	\$ 12,650.00	\$ 14,300.00
Floor Protection	\$ 6,600.00	\$ 8,800.00
Painting	\$ 31,350.00	\$ 34,650.00
Toilet Partitions	\$ 8,250.00	\$ 9,130.00
Restroom Accessories	\$ 2,750.00	\$ 3,300.00

REVISION SCHEDULE	DATE	INITIALS

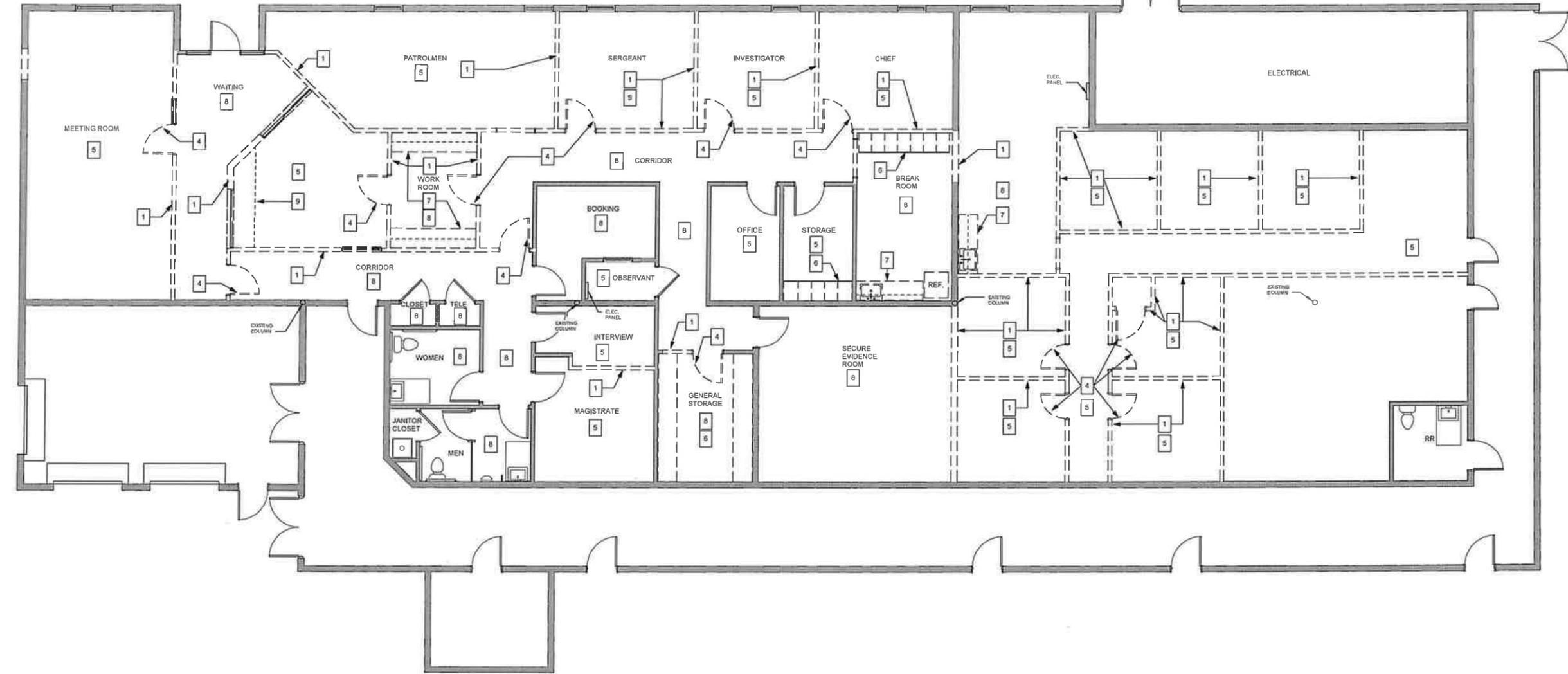
DEMOLITION PLAN

**SCHEMATIC  
DESIGN**

**NOT FOR  
CONSTRUCTION**

Date: 09/01/2022  
Drawn: TOG Checked: SLK  
Project: 222034

**AD101**



**2 FIRST FLOOR PLAN - DEMO**  
AD101 3/16" = 1'-0"

**SCOPE OF WORK NARRATIVE**

AT THE AREA OF CONSTRUCTION:

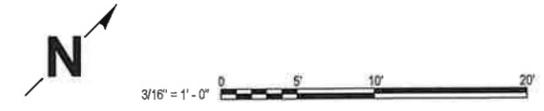
A. LEVEL 1 ALTERATIONS THROUGHOUT.  
 B. LEVEL 2 ALTERATIONS AT A MAJORITY OF THE AREA.  
 C. EXISTING DOORS WILL BE REUSED TO THE GREATEST EXTENT POSSIBLE.  
 D. EXISTING PLUMBING FIXTURES IN THE EXISTING MEN'S AND WOMEN'S RESTROOMS ARE TO REMAIN.  
 E. PLEASE PRICE TWO OPTIONS FOR FLOORING:  
 1. REMOVE ALL EXISTING CARPET AND VINYL BASE. WHERE EXISTING CARPET IS REMOVED, PREP AND LEVEL THE FLOOR ACCORDINGLY UP TO THE LEVEL OF THE EXISTING VCT. NEW CARPET TO BE INSTALLED OVER EXISTING VCT. EXISTING VCT WILL REMAIN IN THE EXISTING WOMEN'S AND MEN'S RESTROOMS.  
 2. REMOVE ALL EXISTING FLOORING TO INCLUDE CARPET, VCT AND VINYL BASE. PREPARE FLOORS FOR NEW CARPET AND NEW VCT THROUGHOUT. THE AREAS TO RECEIVE NEW VCT ARE: MEN'S RESTROOM, WOMEN'S RESTROOM, STAFF RESTROOM, STAFF BREAKROOM, COMMUNITY ROOM AND ADJOINING STORAGE. ALL OTHER ROOMS/AREAS ARE TO BE NEWLY CARPETED.  
 F. PATCH WALLS WHERE NEEDED THROUGHOUT. THE ENTIRE SPACE IS TO BE REPAINTED.  
 G. IN ROOMS WHERE NO WORK IS BEING DONE, CEILING AND LIGHTING ARE TO REMAIN AS IS, OTHERWISE, DEMO THE CEILING IN ITS ENTIRETY AND REPLACE WITH NEW 2X2 ACT AND GRID AND 2x4 LIGHTING.  
 H. A NEW MOVEABLE PARTITION WALL WILL BE INSTALLED IN THE COMMUNITY ROOM.

**GENERAL DEMOLITION NOTES:**

A. THESE DEMOLITION PLANS ARE GUIDELINES FOR THE REMOVAL, MODIFICATIONS, ETC. OF EXISTING CONSTRUCTION ELEMENTS IN PREPARATION FOR NEW WORK. THEY SERVE ONLY AS A PRESCRIPTIVE REFERENCE AND SUPPLEMENT TO THE ADDITIONAL DRAWINGS PROVIDED HEREIN AND DO NOT INCLUDE ALL MEASURES NECESSARY IN PREPARATION FOR NEW WORK.  
 B. PROVIDE ALL TEMPORARY SHORING, BRACING, AND STABILIZING AS REQUIRED FOR A STRUCTURALLY SOUND AND SAFE WORKPLACE AT ALL TIMES.  
 C. WHERE WALLS ARE TO REMAIN, PROPERLY PREP EXISTING WALL SURFACES TO BE PAINTED.  
 D. UNLESS OTHERWISE NOTED, ALL REMOVED MATERIAL SHALL BE TURNED OVER THE CONTRACTOR FOR PROPER DISPOSAL.  
 E. ROLL AND TAG ALL ELECTRICAL SERVICES TO THE NEAREST JUNCTION BOX AT REMOVED WALLS OR OUTLETS.  
 F. PROVIDE TEMPORARY CAPS AT ALL PLUMBING PIPING AFFECTED BY DEMOLITION.  
 G. WHERE EXISTING WALLS TO REMAIN, EXISTING GWB FINISH TO REMAIN, REPAIR/REPLACE ANY DAMAGED FINISHES OCCURRING AS A RESULT OF DEMOLITION WORK AND NEW CONSTRUCTION.  
 H. ANY EXISTING PLUMBING, MECHANICAL, ELECTRICAL, FURNISHINGS OR EQUIPMENT ITEMS THAT HAVE NOT BEEN INDICATED TO BE REMOVED SHOULD REMAIN AND/OR BE VERIFIED BY ARCHITECT AS TO WHETHER TO REMAIN OR BE REMOVED.

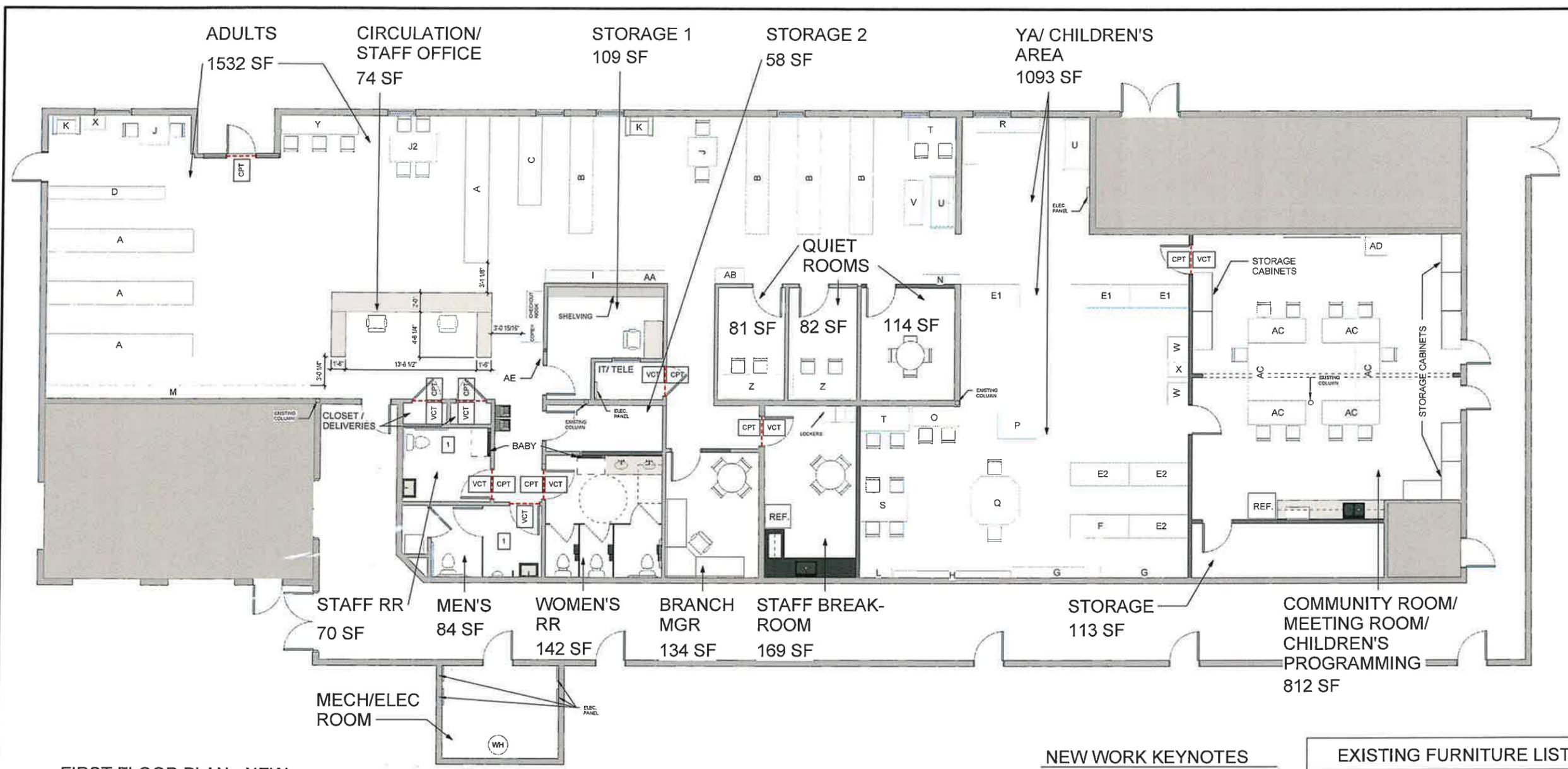
**DEMOLITION KEYNOTES**

1. REMOVE EXISTING PARTITIONS OR PORTION AS SHOWN.  
 2. NOT USED.  
 3. NOT USED.  
 4. REMOVE EXISTING DOOR, HARDWARE AND FRAME, SALVAGE DOOR, HARDWARE AND FRAME FOR REINSTALLATION.  
 5. ROOM/AREA CURRENTLY HAS CARPET.  
 6. REMOVE EXISTING LOCKERS AND DISPOSE.  
 7. REMOVE EXISTING CABINETRY, COUNTERTOPS AND FIXTURES, DISPOSE OF.  
 8. ROOM/AREA CURRENTLY HAS VCT.  
 9. REMOVE EXISTING COUNTER AND DISPOSE OF.



Plotted on: 9/1/2022 5:24:58 PM

**WEST POINT LIBRARY  
RELOCATION**  
WEST POINT  
VIRGINIA



**1 FIRST FLOOR PLAN - NEW**  
3/16" = 1'-0"

TOTAL SF: 5,827

**NEW WORK KEYNOTES**

1. EXISTING PLUMBING FIXTURES AND FINISHES TO REMAIN.

--- RED DASHED LINE INDICATES THE TRANSITION POINT BETWEEN CARPET (CPT) AND VCT.

**EXISTING FURNITURE LIST**

- A: (4) Adult Stacks: 29"W x 69.5"H x 15'-3"L
- B: (4) Adult Stacks: 29"W x 69.5"H x 12'-2"L
- C: (1) Adult Stack: 29"W x 69.5"H x 9'-3"L
- D: (1) Adult Stack: 16"W x 29.5"H x 12'-2"L
- E1: (3) YA/Teens: 6'-2"L x 29"W(7)
- E2: (3) Juvenile Stacks: 3'-2"L x 6'-2"L x 29"W
- F: (1) Children's Stacks: 14"W x 9'-2"L x 3'-10"H \*ONE-SIDED\*
- G: (1) Children's Stacks: 9"W x 12'-3"L x 3'-7"H \*ONE-SIDED\*
- H: (1) Community Material Stack: 15"W x 9'-3"L
- I: (1) Community Material Stack: 15"W x 9'-3"L
- J: (2) Adult Tables: 3'x3 (2 chairs each table)
- J2: (1) Adult Table: 3'x5 (4 chairs)
- K: (2) Lounge Chairs: 35"W x 24"D
- L: (1) New Juvenile Fiction Bookcase: 12"W x 3'L x 6'H
- M: (1) CD/DVD/New Adult Taking Book Stack: 16"W x 69.5"H x 27'-3"L
- N: (1) Friend's Booksale Shelves: 12"W x 4'L
- O: (1) Children's Computer Station Table: 2'x5'
- P: (1) Children's Train Table: 33"x 48"
- Q: (1) Children's Octagon Table: 5'
- R: (1) "L" Children's Sofa: 4'-10"W x 8'L x 18"D
- S: (1) Children's Section Table: 3'x5' (4 chairs each table)
- T: (2) Computer Tables: 30"x 60"
- U: (2) Sofas: 5'-5"L x 32"D
- V: (1) Coffee Table: 4'-7"L x 2'W
- W: (2) Tablet Chairs: 28"W x 26"D
- X: (2) Side Table: 25"L x 18"D
- Y: (1) Bar Height Table: 24"W x 8'L x 41"H
- Z: (6) Computer Lab Tables: 30"W x 72"L
- AA: (1) Display Bookcases: 37"L x 16"W x 42"H
- AB: (1) Display Bookcases: 37"L x 20"W x 42"H
- AC: (6) Meeting Room Folding Tables: 30' x 72"
- AD: (1) Media Cart: 23" x 27"
- AE: (1) Community Display Board
- AF: (50) Stackable Meeting Room Chairs
- AG: (2) Meeting Room Dollies
- AH: (1) Projector and Screen

REVISION	DATE	INITIALS

**SCHEMATIC FLOOR PLAN**

**SCHEMATIC DESIGN**

NOT FOR CONSTRUCTION

Date: 09/01/2022  
Drawn: TOG Checked: SLK  
Project: 222034

A-101

## PLUMBING ABBREVIATIONS

ACT	ACOUSTIC CEILING TILE	HGT	HEIGHT
AAV	AIR ADMITTANCE VALVE	HW	HOT WATER
ADA	HANDICAPPED	IC	INDIRECT CONNECTION
AFF	ABOVE FINISHED FLOOR	IN	INCHES
AD	ACCESS DOOR	INV	INVERT ELEVATION
BFF	BELOW FINISHED FLOOR	MAX	MAXIMUM
BFG	BELOW FINISHED GROUND	MIN	MINIMUM
BFP	BACK FLOW PREVENTER	NIC	NOT IN CONTRACT
BLDG	BUILDING	NTS	NOT TO SCALE
CLG	CEILING	OD	OUTSIDE DIAMETER
CO	CLEAN OUT	PSIG	POUNDS PER SQUARE INCH GAGE
CONN	CONNECTION	SA	SHOCK ABSORBER
CONT	CONTINUATION	SHT	SHEET
DIA	DIAMETER	SAN	SANITARY
DWGS	DRAWINGS	TYP	TYPICAL
ECO	EXTERIOR CLEAN OUT	UON	UNLESS OTHERWISE NOTED
ELEV	ELEVATION	VTR	VENT THROUGH ROOF
ETR	EXISTING TO REMAIN	WCO	WALL CLEAN OUT
FD	FLOOR DRAIN	WH	WATER HEATER
FS	FLOOR SINK		
FT	FEET		

## PLUMBING LEGEND

	DOMESTIC COLD WATER PIPING - C.W.
	TEMPERED HOT WATER PIPING - H.W. (110° MAX.)
	140° HOT WATER LINE
	SANITARY VENT PIPING - V.
	GATE VALVE
	CONCRETE
	WATER PIPING ISOMETRIC
	WASTE PIPING ISOMETRIC
	NEW WORK NOTE
	DEMOLITION NOTE
	NEW TO EXISTING CONNECTION
	DEMOLISH TO THIS POINT

## PIPE MATERIAL

**DOMESTIC WATER PIPING:**

A. UNDERGROUND POTABLE WATER SERVICE PIPING.  
 1. NPS 3 AND SMALLER: HARD COPPER TUBE, TYPE K; COPPER PRESSURE FITTINGS; AND BRAZED JOINTS WITH A BITUMINOUS COATING ON EXTERIOR OF PIPE AND FITTINGS.

B. ABOVEGROUND DOMESTIC POTABLE WATER PIPING: USE THE FOLLOWING PIPING MATERIALS FOR EACH SIZE RANGE:  
 1. ALL SIZES: HARD COPPER TUBE, LEAD-FREE TYPE L; COPPER PRESSURE FITTINGS; AND LEAD-FREE SOLDER JOINTS.

C. ASSEMBLED WITH WROUGHT COPPER FITTINGS AND LEAD FREE SOLDER.

D. PEX OR CPVC MAY BE USED AS A BID OPTION.

**WASTE AND VENT PIPING:**

A. ABOVEGROUND, SOIL, WASTE AND VENT PIPING ALL SIZES SHALL BE ANY OF THE FOLLOWING:  
 1. PVC - DWV PIPE AND FITTING ASSEMBLED WITH APPROVED SOLVENT.

B. UNDERGROUND, SOIL, WASTE AND VENT PIPING ALL SIZES SHALL BE ANY OF THE FOLLOWING:  
 1. PVC - DWV PIPE AND FITTING ASSEMBLED WITH APPROVED SOLVENT.

**PIPE INSULATION SPECIFICATION:**

INSULATION SHALL BE OWENS CORNING SSL II WITH ASJ AX FIBERGLAS PIPE INSULATION, FURNISHED WITH FACTORY APPLIED ALL-SERVICE JACKET (ASJ) WITH POLYMER FILM EXTERIOR CLEANABLE AND MOLD RESISTANT SURFACE. JACKET LAPS AND BUTT STRAPS SHALL BE ADHERED NEATLY IN PLACE WITH FACTORY APPLIED SELF-SEAL TAPE JOINT, FIRMLY RUBBED WITH SEALING TOOL SUCH AS PLASTIC SQUEEGEE PER NAIMA INSTALLATION STANDARDS. THE BUTT END OF EVERY FOURTH PIPE INSULATION SECTION AND THE ENDS OR RAW EDGES OF INSULATION TERMINATIONS AT EQUIPMENT CONNECTIONS AND FITTINGS SHALL BE SEALED WITH FOSTER 30-35 VAPOR RETARDER MASTIC.

INSULATION THICKNESS SCHEDULE AS FOLLOWS:  
 HW/TW PIPING: 1" THICKNESS ALL PIPE SIZES  
 CW PIPING: 1" THICKNESS PIPE SIZE 1-1/2" AND GREATER  
 1/2" THICKNESS PIPE SIZES LESS THAN 1-1/2"

NOTE: CLOSED CELL ARMAFLEX MAY BE USED AS AN ALTERNATE.

## PLUMBING GENERAL NOTES

- STRICTLY ADHERE TO THE LATEST EDITION OF ALL LOCAL, STATE, NATIONAL CODES, AND ADA. OBTAIN PERMITS & PAY ALL FEES.
- PLUMBING CONTRACTOR SHALL INSTALL AN ESCUTCHEON PLATE AT EVERY LOCATION WHERE A PIPE PASSES THROUGH A WALL OR CEILING.
- KEEP ALL UNDERGROUND PIPING CLEAR OF FOOTINGS AND FOUNDATIONS. PROVIDE PIPE SLEEVES LARGE ENOUGH TO ALLOW FOR REQUIRED LATERAL MOVEMENT OF PIPES PASSING THROUGH MASONRY OR CONCRETE WALLS.
- FOR PIPE SIZES NOT ALL SHOWN ON FLOOR PLANS, SEE ISOMETRICS AND SCHEDULES.
- COORDINATE WITH ARCHITECTURAL DRAWINGS BEFORE ROUGHING IN PLUMBING FIXTURES.
- PROVIDE VACUUM BREAKERS ON ALL HOSE BIBS AND THREADED FAUCET SPOUTS.
- ALL PIPING SHALL BE NEW, CLEAN, AND FREE FROM SCALE AND DIRT AT TIME OF INSTALLATION.
- FOR CONT. OF PIPING BEYOND LIMITS OF BUILDINGS, SEE CIVIL PLAN.
- SLOPES AND INVERT ELEVATIONS SHALL BE ESTABLISHED BEFORE ANY PIPING IS INSTALLED IN ORDER THAT PROPER SLOPES WILL BE MAINTAINED. ALL PIPING SHALL BE RUN TO AVOID CONFLICTS WITH ANY OTHER TRADES.
- ALL WATER PIPING LOCATED IN EXTERIOR WALLS OR ATTIC SPACES SHALL BE RUN ON ROOM SIDE OF WALL OR CEILING INSULATION.
- PROVIDE FINAL CONNECTION TO ALL EQUIPMENT FURNISHED BY OTHERS.
- INSTALL PIPING SO THAT ALL VALVES ARE ACCESSIBLE.
- ALL PIPING TO BE SUPPORTED PER CODE.
- COORDINATE THE LOCATION OF ALL PIPING WITH LIGHTING FIXTURES, DUCTS, PIPING, ETC.
- MAKE PROPER PIPING CONNECTIONS TO ALL FIXTURES AND EQUIPMENT EVEN THOUGH ALL BRANCH MAINS, ELBOWS, AND CONNECTIONS ARE NOT SHOWN.
- ALL PIPING IN FINISHED SPACE SHALL BE CONCEALED.
- NEW POTABLE WATER SYSTEMS SHALL BE PURGED OF DELETERIOUS MATER AND DISINFECTED PRIOR TO UTILIZATION. THE METHOD TO BE FOLLOWED SHALL BE THAT PRESCRIBED BY THE HEALTH AUTHORITY OR WATER PURVEYOR HAVING JURISDICTION OR, IN THE ABSENCE OF A PRESCRIBED METHOD, THE PROCEDURE DESCRIBED IN EITHER AWWA C615 OR AWWA C652, OR AS DESCRIBED IN THIS SECTION. THIS REQUIREMENT SHALL APPLY TO "ON-SITE" OR "IN-PLANT" FABRICATION OF A SYSTEM OR TO A MODULAR PORTION OF A SYSTEM. CERTIFICATION FROM AN APPROVED INDEPENDENT TESTING AGENCY MUST BE SUBMITTED PRIOR TO REQUESTING A PLUMBING FINAL INSPECTION. (IPC SECTION 610.1)
- COORDINATE ALL WASTE PIPING WITH COLUMN FOOTINGS AND FOUNDATIONS AS REQUIRED.
- ALL PLUMBING WORK SHALL MEET OR EXCEED 2018 VIRGINIA PLUMBING CODE.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BEFORE ANY EQUIPMENT IS ORDERED.

## PLUMBING FIXTURE SCHEDULE

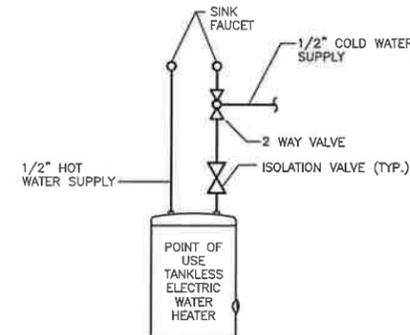
MARK	FIXTURE	DESCRIPTION	MANUFACTURER	MODEL NUMBER	FAUCET	WATER FLOW	TRAP	PIPE SIZES				NOTES / ACCESSORIES
								W.	V.	CW.	HW.	
P-1	TOILET	FLOOR MOUNTED TANK TYPE LOW FLOW	AMERICAN STANDARD	215CA.104	N/A	1.28 GPF	INTERNAL	3"	1 1/2"	1"	N/A	PROVIDE BEMIS 1955C SEAT, WAX RING & BRASS CRAFT SUPPLY WITH STOP
P-2	TOILET ADA	FLOOR MOUNTED TANK TYPE LOW FLOW	AMERICAN STANDARD	215FA.104	N/A	1.28 GPF	INTERNAL	3"	1 1/2"	1"	N/A	PROVIDE BEMIS 1955C SEAT, WAX RING & BRASS CRAFT SUPPLY WITH STOP
P-3	LAVATORY ADA	UNDERMOUNT	AMERICAN STANDARD	.0496.020	A/S 7385.004	.5 GPF	17 GA METAL 1 1/2"x 1 1/4"	1 1/2"	1 1/2"	1/2"	1/2"	PROVIDE BRASS CRAFT CR 1912-AC SUPPLIES W/ STOP & TRAP WRAP KIT
P-4	BREAK ROOM SINK	COUNTERTOP SINGLE BOWL STAINLESS STEEL	JUST	SL-2225-AGR	A/S 7230.372H	1.5 GPM	17 GA METAL 1 1/2"x 1 1/4"	1 1/2"	1 1/2"	1/2"	1/2"	PROVIDE BRASS CRAFT CR 1912-AC SUPPLIES W/ STOP 2-PROFLO #PF250PC STRAINERS, KENNY #K1815SN CONTINUOUS WASTE
P-5	MEETING ROOM SINK	COUNTERTOP DOUBLE BOWL STAINLESS STEEL	JUST	DL-3322-AGR	A/S 7231.372H	1.5 GPM	17 GA METAL 1 1/2"x 1 1/4"	1 1/2"	1 1/2"	1/2"	1/2"	PROVIDE BRASS CRAFT CR 1912-AC SUPPLIES W/ STOP PROFLO #PF250K STRAINER
P-6	WATER COOLER	BI-LEVEL WITH BOTTLE FILLING STATION	ELKAY	EZSTLBWSLK	N/A	N/A	17 GA METAL 1 1/2"x 1 1/4"	1 1/2"	1 1/2"	1/2"	N/A	PROVIDE BRASS CRAFT CR-19 STOP
P-7	REFRIGERATOR ICE BOX	RECESSED VALVE BOX	GUY GRAY	BIM-875	N/A	N/A	N/A	N/A	1/2"	N/A	N/A	REFRIGERATOR/ICE MAKER PROVIDED BY OWNER

- NOTES:
- CONTRACTOR IS RESPONSIBLE FOR ALL TRIM, SUPPLIES, VALVES, EXPOSED TRAPS SHALL BE CHROMIUM PLATED 17 GAUGE BRASS, CONCEALED TRAPS MAY BE PLASTIC, AND CONNECTIONS FOR EQUIPMENT PROVIDED BY OTHERS.
  - APPROVED EQUAL SUPPLIERS ARE: KOHLER, MOEN, FIAT, CHICAGO.
  - ALL HC FIXTURE SHALL BE INSTALLED PER ADA GUIDELINES.
  - CONFIRM W/ LOCAL CODE OFFICIALS, ANY REQUIREMENTS FOR MAIN LINE BACK FLOW PREVENTION.
  - CONTRACTOR SHALL PROVIDE SHUT OFF VALVES FOR ALL FIXTURES.
  - ALL FIXTURES AND FITTING SHALL BE FROM SAME MANUFACTURER WHEN POSSIBLE AND HAVE THE SAME FINISH.
  - ALL PUBLIC HAND WASHING FACILITIES SHALL HAVE MIXING VALVE AS PER CODE THAT CONFORMS TO ASSE 1070.
  - ALL FAUCETS AND VALVES SHALL HAVE MATCHING REPLACEABLE CARTRIDGES.

## WATER HEATER SCHEDULE

MARK	AREA SERVED	MAKE	MODEL NUMBER	STORAGE (GAL.)	PIPE	POWER / CONSUMPTION	GPH	NOTES
WH 1	BATHROOM	EEMAX	SPEX8208 TWO FIXTURE	INSTANT TANKLESS	3/8"	208V/1 PH 8.3 KW	INSTANTANEOUS	TANKLESS, LOCATE SO ADA CLEARANCE IS MET, SEE DETAIL.
WH 2	BREAK ROOM	EEMAX	SPEX4208 SINGLE FIXTURE	INSTANT TANKLESS	3/8"	208V/1 PH 4.1 KW	INSTANTANEOUS	TANKLESS, LOCATE SO ADA CLEARANCE IS MET, SEE DETAIL.
WH 3	MEETING ROOM	EEMAX	SPEX4208 SINGLE FIXTURE	INSTANT TANKLESS	3/8"	208V/1 PH 4.1 KW	INSTANTANEOUS	TANKLESS, LOCATE SO ADA CLEARANCE IS MET, SEE DETAIL.

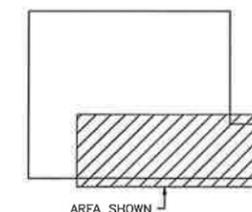
- NOTES:
- NO SUBSTITUTIONS WITHOUT PRE-APPROVAL.
  - COORDINATE / VERIFY ELECTRICAL WITH ELECTRICAL CONTRACTOR & G.C.
  - SEE DETAIL FOR ADDITIONAL INFORMATION AND VALVES REQUIRED.



- NOTES:
- TANKLESS WATER HEATER, NO DRAIN, RELIEF OR PAN REQUIRED.
  - COORDINATE LOCATION WITH SINK ADA CLEARANCES.
  - PROVIDE THERMOSTATICALLY CONTROLLED MIXING VALVE AS REQUIRED BY CODE.

## TANKLESS WATER HEATER DETAIL

NOT TO SCALE



## KEY PLAN

NOT TO SCALE

PROGRESS PRINT  
NOT TO BE USED  
FOR CONSTRUCTION

**IDG**  
INFINITY DESIGN GROUP  
732 THIMBLE SHOALS BLVD. UNIT 604  
NEWPORT NEWS, VA 23608  
(757) 877-9833



Date: 8/23/22  
 Drawn: JWH Checked: WHL  
 Project: 22-048

P-1

WEST POINT LIBRARY  
RELOCATION

433 12TH STREET  
WEST POINT, VIRGINIA

Revision	Date	Initials

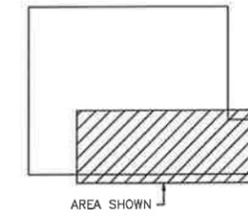
PLUMBING  
SCHEDULES, NOTES  
AND LEGEND

**GENERAL DEMOLITION NOTES**

1. REMOVE ALL TRASH AND DEMOLITION MATERIAL FROM SITE DAILY. ALL DEMOLITION MATERIAL SHALL BECOME THE CONTRACTORS RESPONSIBILITY.
2. COORDINATE ALL CONSTRUCTION AND DEMOLITION WITH OWNER.
3. DO NOT BLOCK OR OBSTRUCT PARKING LOT, EASEMENT, ETC. FOR STORING NEW EQUIPMENT.
4. ITEMS NOT SPECIFICALLY IDENTIFIED FOR REMOVAL SHALL REMAIN.

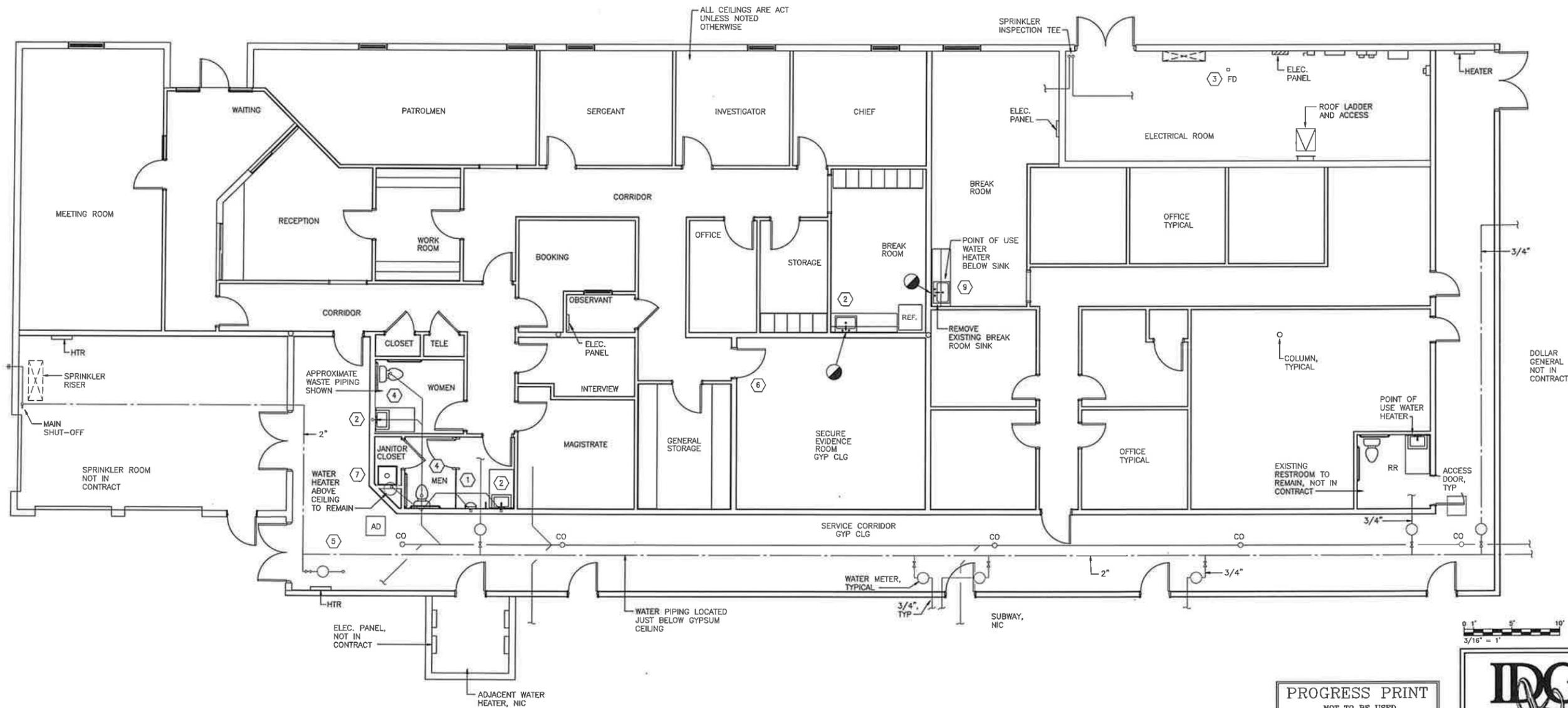
**PLUMBING DEMOLITION NOTES**

1. EXISTING URINAL, FLUSH VALVE & ALL ASSOCIATED TRIM TO REMAIN.
2. EXISTING LAVATORY/SINK, FAUCET AND ALL TRIM TO REMAIN.
3. FLOOR DRAIN TO REMAIN.
4. EXISTING TOILET AND ALL TRIM TO REMAIN.
5. EXISTING WATER HEATER AND ALL ASSOCIATED TRIM TO REMAIN.
6. REMOVE EXISTING CONCRETE AS REQUIRED FOR NEW PIPING. SEE NEW WORK PLAN.
7. EXISTING MOP SINK, FAUCET AND ALL TRIM TO REMAIN.
8. REMOVE EXISTING SANITARY WASTE & VENT PIPING INSIDE BUILDING SERVING PLUMBING FIXTURES BEING REMOVED.
9. REMOVE EXISTING POINT OF USE WATER HEATER.
10. REMOVE EXISTING DOMESTIC COLD WATER, HOT WATER, VALVES, INSULATION, HANGERS INSIDE BUILDING SERVING PLUMBING FIXTURES BEING REMOVED.



**KEY PLAN**

NOT TO SCALE



PROGRESS PRINT  
NOT TO BE USED  
FOR CONSTRUCTION

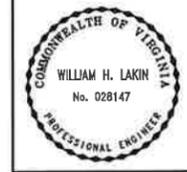
**IDG**  
INFINITY DESIGN GROUP  
732 THIMBLE SHOALS BLVD. UNIT 804  
NEWPORT NEWS, VA 23606  
(757) 877-9833

**WEST POINT LIBRARY  
RELOCATION**

433 12TH STREET  
WEST POINT, VIRGINIA

Revision	Date	Initials

**PLUMBING  
DEMOLITION PLAN  
AND NOTES**



Date: 8/23/22  
Drawn: JWH Checked: WHL  
Project: 22-046

**P-2**

Plotted 2202/10/2/19

**PLUMBING DEMOLITION FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

Revision	Date	Initials

WASTE AND VENT  
PIPING NEW WORK PLAN  
ISOMETRICS, NOTES  
AND DETAILS

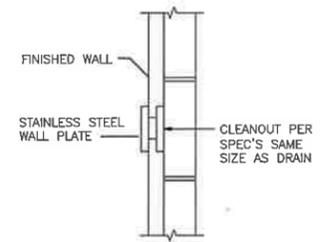
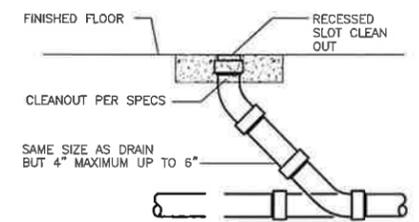
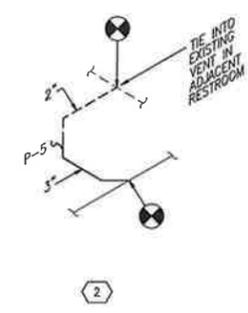
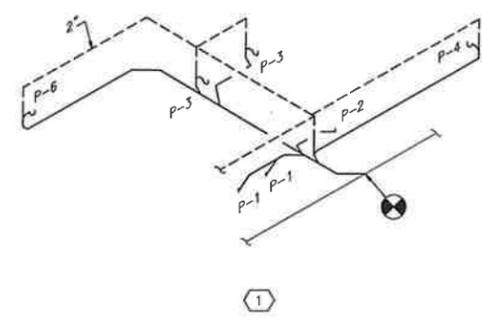


Date: 8/23/22  
Drawn: JWH Checked: WHL  
Project: 22-048

**P-3**

**PLUMBING NOTES**

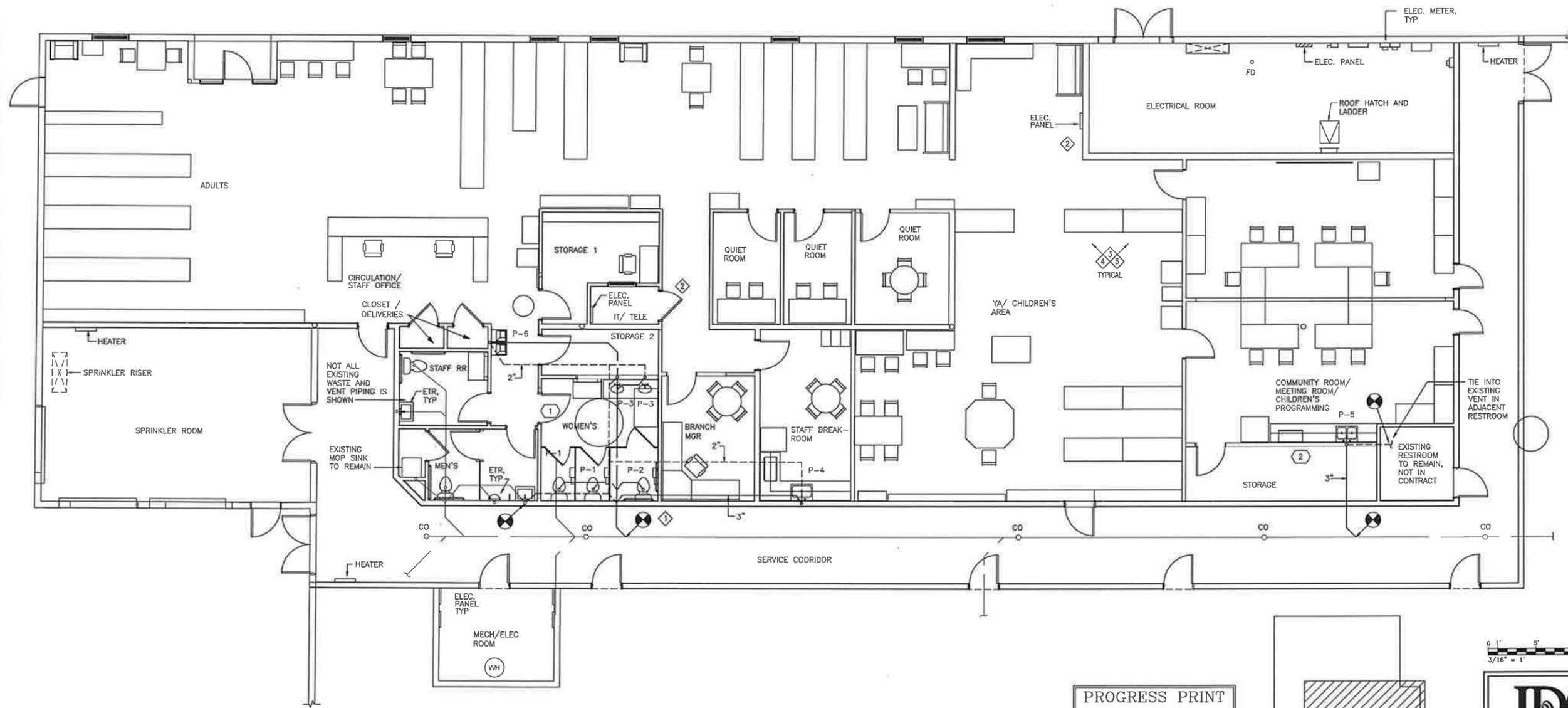
- 1 CONTRACTOR SHALL VERIFY INVERT REQUIRED AND COORDINATE WITH SITE PLANS AVAILABLE INVERT BEFORE CONSTRUCTION.
- 2 VERIFY EXACT LOCATION OF ALL ELECTRICAL PANELS BEFORE CONSTRUCTION AND ROUTE PIPING AS REQUIRED SO NO PIPING RUNS OVER ANY ELECTRICAL DEVICE.
- 3 CONTRACTOR SHALL PROVIDE RED LINED AS-BUILT DRAWINGS SHOWING ANY MODIFICATIONS MADE DUE TO UNFORESEEN FIELD CONDITIONS.
- 4 COORDINATE ALL HORIZONTAL PIPING WITH STRUCTURE, DUCTWORK AND MECHANICAL EQUIPMENT FRAMING AS REQUIRED.
- 5 CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BEFORE AND EQUIPMENT IS ORDERED.



**INTERIOR CLEANOUT DETAIL**  
NOT TO SCALE

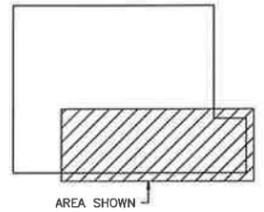
**WALL CLEANOUT DETAIL**  
NOT TO SCALE

**WASTE PIPING ISOMETRICS**  
NOT TO SCALE

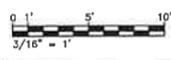


**WASTE AND VENT PIPING NEW WORK PLAN**  
SCALE: 3/16" = 1'-0"

PROGRESS PRINT  
NOT TO BE USED  
FOR CONSTRUCTION

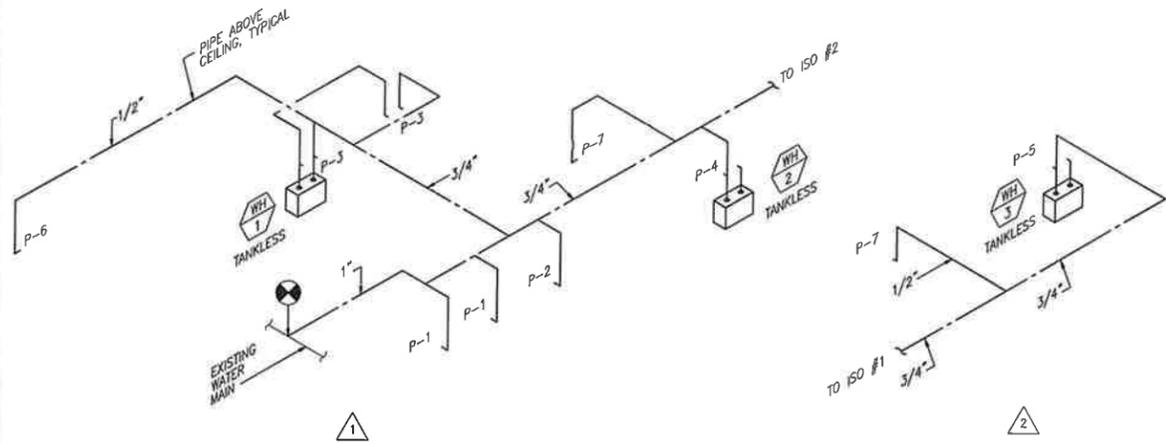


**KEY PLAN**  
NOT TO SCALE



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(757) 877-9833

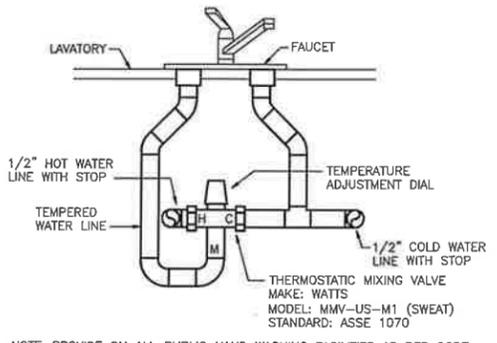
Plotted 2022/8/24/8



**WATER PIPING ISOMETRICS**

NOT TO SCALE

NOTE: ALL PUBLIC HAND WASHING FACILITIES SHALL HAVE TEMPERED WATER THROUGH AN APPROVED WATER LIMITING DEVICE THAT CONFORMS TO ASSE 1070.



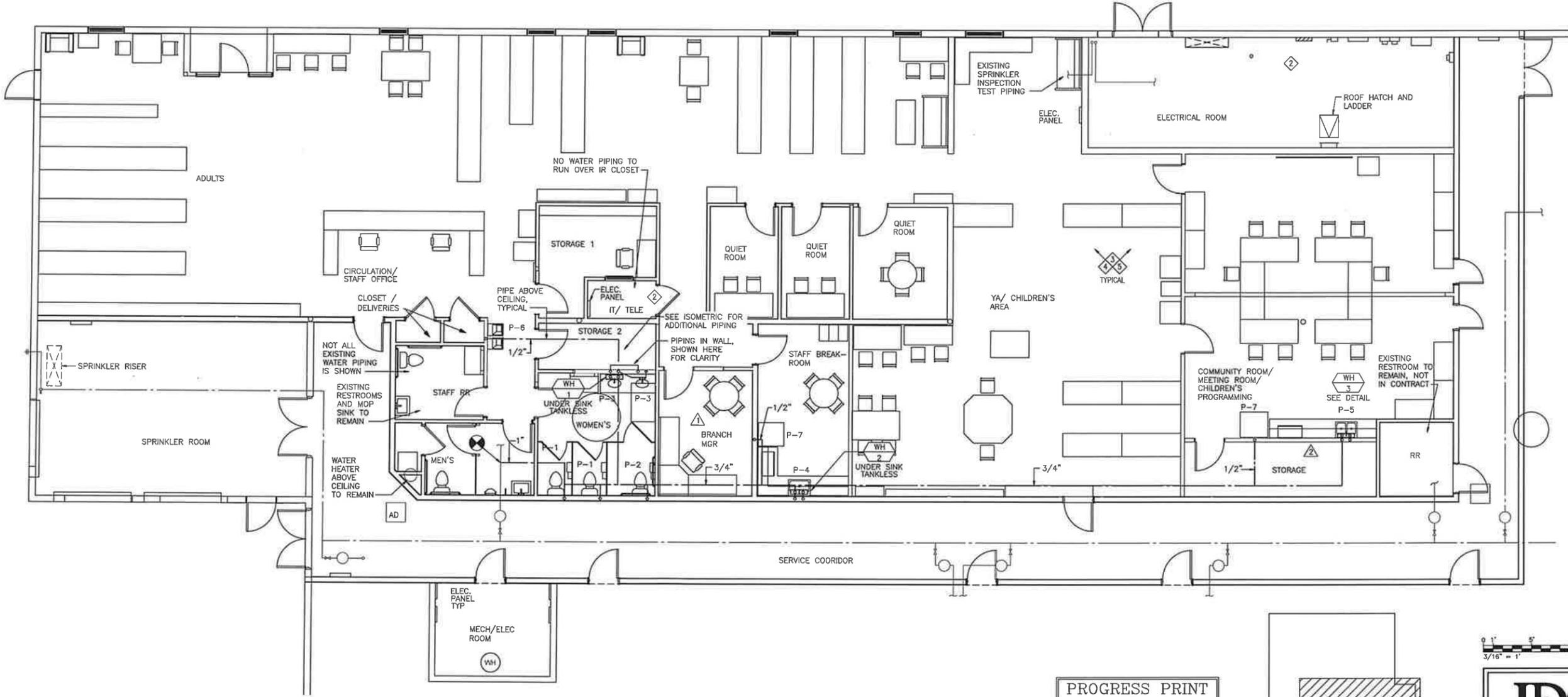
NOTE: PROVIDE ON ALL PUBLIC HAND WASHING FACILITIES AS PER CODE.

**TEMPERING VALVE DETAIL**

NOT TO SCALE

**PLUMBING NOTES**

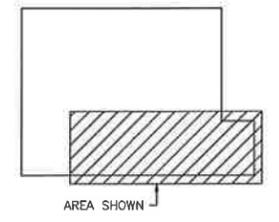
- 1 CONTRACTOR SHALL VERIFY INVERT REQUIRED AND COORDINATE WITH SITE PLANS AVAILABLE INVERT BEFORE CONSTRUCTION.
- 2 VERIFY EXACT LOCATION OF ALL ELECTRICAL PANELS BEFORE CONSTRUCTION AND ROUTE PIPING AS REQUIRED SO NO PIPING RUNS OVER ANY ELECTRICAL DEVICE.
- 3 CONTRACTOR SHALL PROVIDE RED LINED AS-BUILT DRAWINGS SHOWING ANY MODIFICATIONS MADE DUE TO UNFORESEEN FIELD CONDITIONS.
- 4 COORDINATE ALL HORIZONTAL PIPING WITH STRUCTURE, DUCTWORK AND MECHANICAL EQUIPMENT FRAMING AS REQUIRED.
- 5 CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BEFORE AND EQUIPMENT IS ORDERED.



**WATER PIPING NEW WORK PLAN**

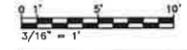
SCALE: 3/16" = 1'-0"

PROGRESS PRINT  
NOT TO BE USED  
FOR CONSTRUCTION



**KEY PLAN**

NOT TO SCALE



732 THIMBLE SHOALS BLVD. UNIT 804  
NEWPORT NEWS, VA 23605  
(757) 677-9893

REVISION SCHEDULE	Description	DATE	BY

WATER PIPING  
NEW WORK PLAN,  
ISOMETRICS, NOTES  
AND DETAILS



Date: 6/23/22  
Drawn: JNH Checked: VHL  
Project: 22-046

**P-4**

Plotted 22022/06/24/22/8

# ABBREVIATIONS

AHU	AIR HANDLING UNIT	WG	WATER GAUGE
CFM	CUBIC FEET PER MINUTE	MAX	MAXIMUM
CONT	CONTINUATION	MECH	MECHANICAL
CWF	COLONIAL WILLIAMSBURG FOUNDATION	N/A	NOT APPLICABLE
D	CONDENSATE DRAIN	NIC	NOT IN CONTRACT
DWGS	DRAWINGS	OA	OUTSIDE AIR
DB	DRY BULB	OD	OUTSIDE DIAMETER
EA	EXHAUST AIR	PH	PHASE (ELECTRICAL)
EAT	ENTERING AIR TEMPERATURE	PD	PRESSURE DROP
EF	EXHAUST FAN	RA	RETURN AIR
EXIST	EXISTING	RPM	REVOLUTIONS PER MINUTE
FT	FEET	REQ'D	REQUIRED
FPM	FEET PER MINUTE	SHT	SHEET
HZ	HERTZ	STD	STANDARD
HP	HEAT PUMP	SP	STATIC PRESSURE
IN	INCHES	SA	SUPPLY AIR
LAT	LEAVING AIR TEMPERATURE	T'STAT	THERMOSTAT
LBS	POUNDS	TYP	TYPICAL
W/	WITH	UN	UNLESS OTHERWISE NOTED
W/O	WITHOUT	WB	WET BULB

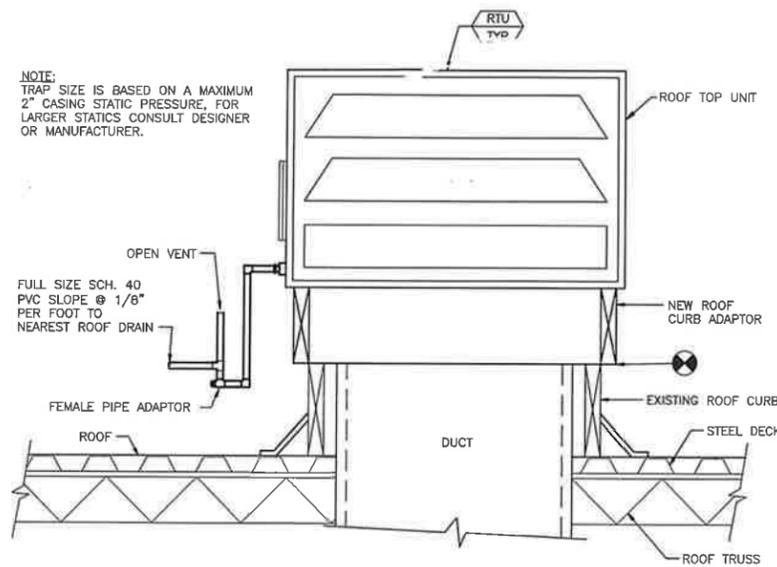
# LEGEND

	CONDENSATE DRAIN PIPING (COOLING COILS)
	REFRIGERANT SUCTION PIPING
	REFRIGERANT LIQUID PIPING
	NEW TO EXISTING CONNECTION POINT
	DEMOLISH TO THIS POINT
	NEW WORK NOTE
	DEMOLITION NOTE
	DUCT SIZE, FIRST FIGURE IS SIDE SHOWN
	CHANGE OF ELEVATION, RISE (R) DROP (D)
	DUCT SECTION, POSITIVE PRESSURE, FIRST FIGURE IS TOP
	DUCT SECTION, NEGATIVE PRESSURE
	GRILLE, REGISTER OR DIFFUSER: SIZE, TYPE AND CAPACITY AS INDICATED
	ROOM OR ZONE THERMOSTAT, WALL MOUNT @ 48" AFT
	ROUND DUCT SIZE
	VOLUME DAMPER
	EQUIPMENT MARK EQUIPMENT NUMBER
	SECTION OR DETAIL NUMBER MECHANICAL SHEET WHERE SECTION OR DETAIL IS DRAWN MECHANICAL SHEET WHERE SECTION OR DETAIL IS INDICATED

# GENERAL NOTES

- ALL DUCT DIMENSIONS ARE IN INCHES AND ARE INSIDE CLEAR.
- OPENINGS THROUGH WALLS INDICATED ON HVAC PLANS SHALL BE ABOVE CEILINGS.
- STRICTLY ADHERE TO THE LATEST EDITION OF ALL LOCAL, STATE AND NATIONAL CODES.
- PROVIDE FLEXIBLE DUCT CONNECTIONS AT ALL AHU'S.
- INSTALL TRAPS AND CLEAN OUTS FOR ALL CONDENSATE DRAIN LINES TO PROVIDE A MINIMUM 4" SEAL.
- ALL DUCT AND PIPING SHOWN ON PLANS SHALL BE CONCEALED ABOVE CEILING OR IN WALLS UNLESS NOTED OTHERWISE.
- ALL PIPING & DUCTWORK SHALL BE NEW, CLEAN, AND FREE FROM SCALE AND DIRT AT TIME OF INSTALLATION.
- BEFORE INSTALLATION AND ERECTION OF PIPING AND DUCTWORK, ALL DIMENSIONS AND ROUTING SHALL BE VERIFIED IN FIELD.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIAL AND LABOR REQUIRED FOR THE COMPLETE MECHANICAL SYSTEM AS INDICATED ON THE DRAWINGS. THE SYSTEM SHALL BE COMPLETE AND WORKING ORDER.
- ALL WORK SHALL MEET OR EXCEED 2018 VIRGINIA CONSTRUCTION CODES.
- ANY ASBESTOS TESTING AND REMOVAL TO BE PROVIDED BY COLONIAL WILLIAMSBURG FOUNDATION.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BEFORE AND EQUIPMENT IS ORDERED.

NOTE:  
TRAP SIZE IS BASED ON A MAXIMUM 2" CASING STATIC PRESSURE, FOR LARGER STATICS CONSULT DESIGNER OR MANUFACTURER.

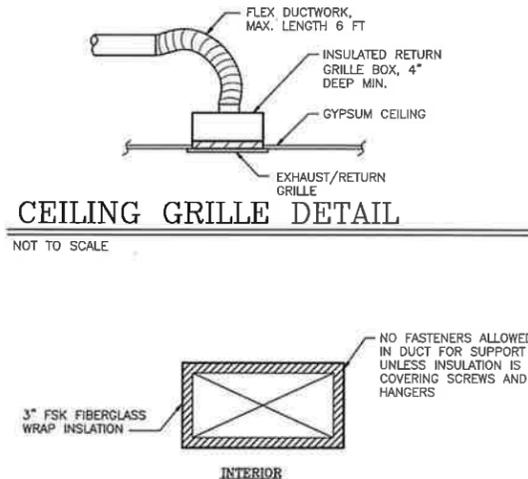


## ROOF TOP UNIT CONDENSATE TRAP DETAIL

NOT TO SCALE

## CEILING GRILLE DETAIL

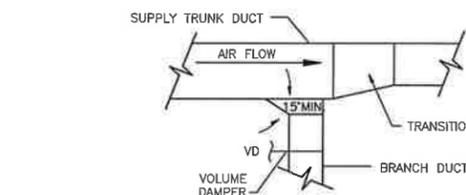
NOT TO SCALE



- NOT TO SCALE
- NOTES:
- INSULATION SHALL BE MANUFACTURED BY CERTANTEED, KNAUF OR JOHN MANVILLE.
  - ALL DUCT SHEET METAL GAGE THICKNESSES AND INSTALLATION METHODS SHALL CONFORM TO THE MOST RECENT SMACNA STANDARDS UNLESS NOTED OTHERWISE.
  - ALL SCREWS AND HANGERS IN CONTACT WITH DUCT SHALL BE INSULATED.
  - PROVIDE BRUSH ON SEAM SEALER ON ALL JOINTS.
  - NO FOIL TAPE ON INSULATION, ONLY FSK.
  - SEE MANUFACTURERS RECOMMENDATIONS/INSTRUCTIONS FOR ADDITIONAL INFORMATION.

## DUCT DETAIL

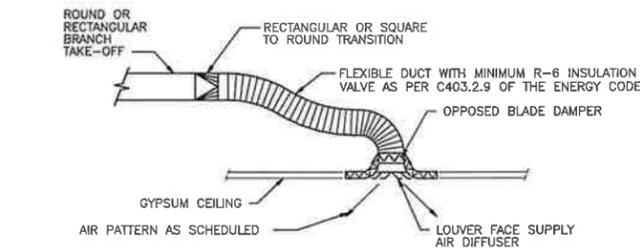
NOT TO SCALE



- NOTES:
- PROVIDE STAND-OFF FOR VOLUME DAMPER SO HANDLE EXTENDS OUT FROM INSULATION.
  - DAMPER HANDLE SHALL BE IN SAME DIRECTION AS DAMPER BLADE.
  - NO FOIL TAPE ON INSULATION, ONLY FSK.
  - USE SEAM SEALER ON ALL JOINTS.

## TAKE-OFF DETAIL

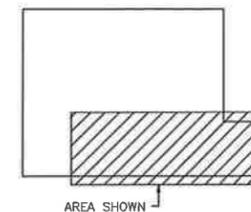
NOT TO SCALE



- NOTES:
- INSTALL FLEXIBLE DUCT AS INDICATED ON MECHANICAL DRAWINGS. (MAX 6 FT)
  - INSULATE AND SEAL BACK SIDE OF DIFFUSER AND PAN WITH MINIMUM 3" THICK FSK INSULATION.
  - SEAL ANY FACTORY HOLES IN DIFFUSER THAT LET AIR INTO PLENUM SPACE.

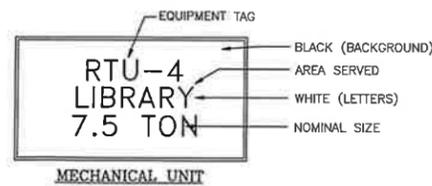
## SUPPLY DIFFUSER DETAIL

NOT TO SCALE



## KEY PLAN

NOT TO SCALE



### SPECIFICATIONS:

- MAKE: 1/16" ENGRAVING MATERIAL
- SIZE: 1/4" LETTERS (MIN.) PLATE SIZE MAY VARY
- COLOR: COAL BLACK / WHITE

### NOTES:

- SELF ADHESIVE
- SEE MANUFACTURERS INSTRUCTIONS FOR INSTALLATION.
- VERIFY PLATE SIZE WILL FIT ON EQUIPMENT BEFORE ORDERING.
- PROVIDE ON ALL HEAT PUMPS AND AIR HANDLING UNITS.
- PROVIDE ON ALL MECHANICAL EQUIPMENT.

## EQUIPMENT IDENTIFICATION DETAIL

NOT TO SCALE



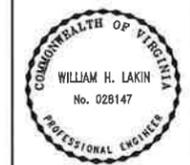
WEST POINT LIBRARY  
RELOCATION

433 12TH STREET  
WEST POINT, VIRGINIA

REVISION SCHEDULE	
Date	Revised

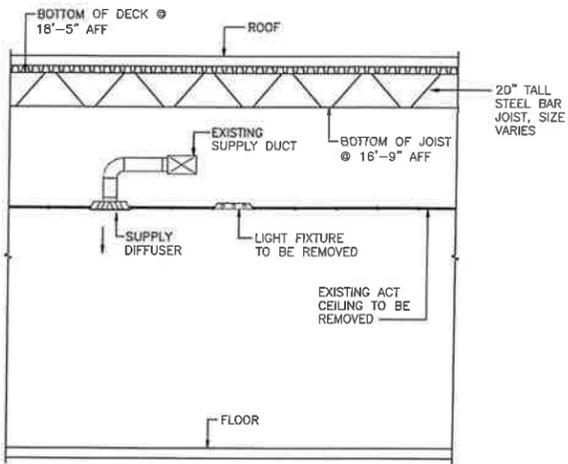
## MECHANICAL NOTES AND DETAILS

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Date: 8/23/22  
Drawn: JWH Checked: WHL  
Project: 22-046

M-1



### GENERAL DEMOLITION NOTES

1. REMOVE ALL TRASH AND DEMOLITION MATERIAL FROM SITE DAILY. ALL DEMOLITION MATERIAL SHALL BECOME THE CONTRACTORS RESPONSIBILITY.
2. COORDINATE ALL CONSTRUCTION AND DEMOLITION WITH OWNER.
3. DO NOT BLOCK OR OBSTRUCT PARKING LOT, EASEMENT, ETC. FOR STORING NEW EQUIPMENT.
4. ITEMS NOT SPECIFICALLY IDENTIFIED FOR REMOVAL SHALL REMAIN.

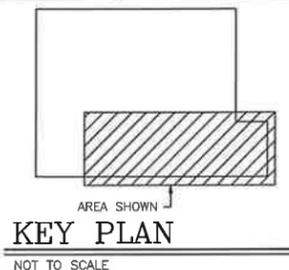
### DEMOLITION NOTES

- 1 EXISTING ELECTRICAL HEATER TO REMAIN.
- 2 REMOVE ALL REFRIGERANT AS PER EPA GUIDELINES.
- 3 REMOVE EXISTING EXHAUST FAN, DUCT, ETC.
- 4 REMOVE ALL EXISTING SUPPLY DIFFUSER, RETURN AND EXHAUST GRILLE.
- 5 REMOVE EXISTING CONDENSATE PIPING.
- 6 REMOVE EXISTING SUPPLY, RETURN, EXHAUST DUCTWORK.
- 7 REMOVE EXISTING RTU AFTER REFRIGERANT HAS BEEN EVACUATED.
- 8 REMOVE EXISTING THERMOSTAT, CONTROLS, WIRING AND ALL ASSOCIATED HARDWARE. NOT ALL SHOWN.
- 9 REMOVE TRANSFER DUCT.

### EXISTING PACKAGED ROOF TOP UNIT SCHEDULE

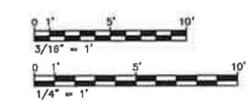
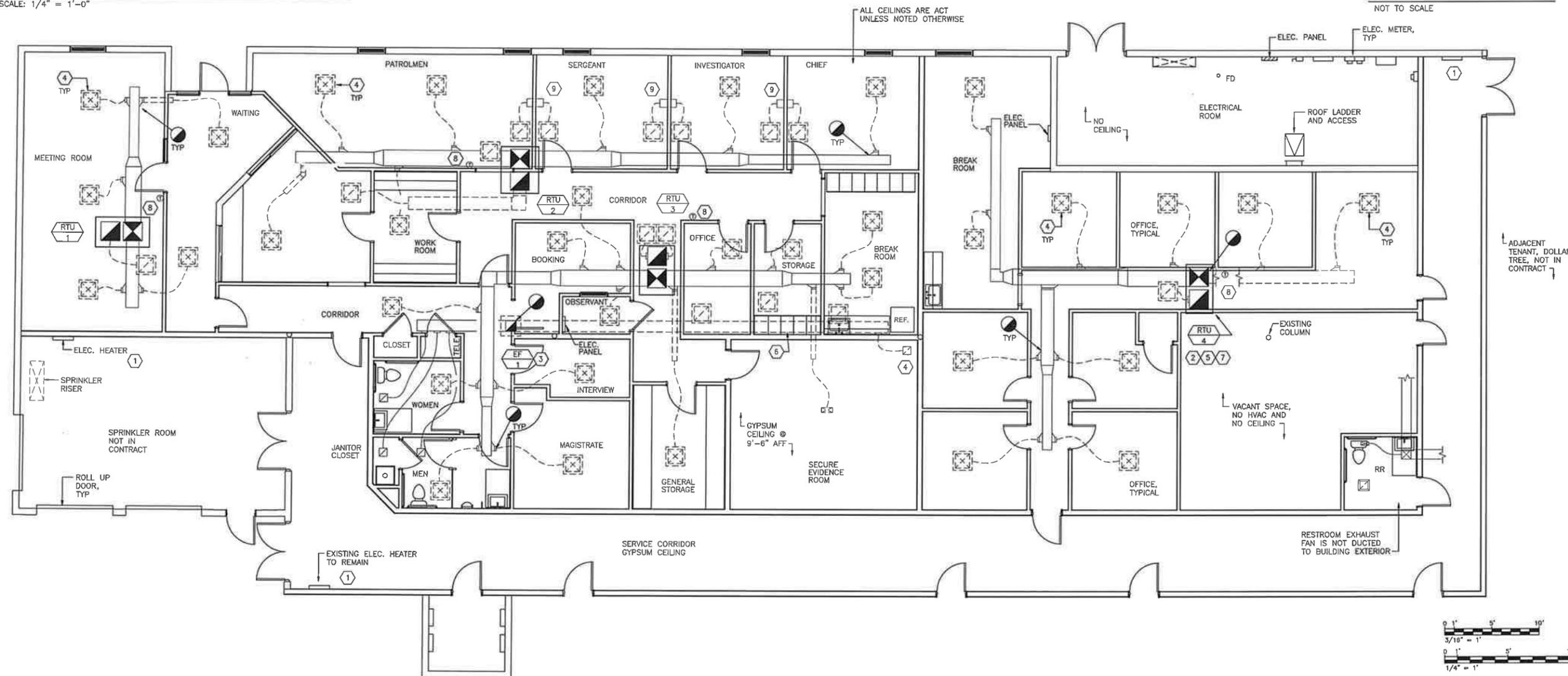
MARK	NOMINAL TONS	REFRIGERANT	UNIT ELECTRICAL			YEAR BUILT	MANUFACTURER	MODEL NUMBER	NOTES
			VOLTS	PHASE	MCA/MFS				
RTU 1	2	R-410A	208	1	30/30	2021	TRANE	4WCC4024A	①
RTU 2	3	R-410A	208	3	③	2015 PRODUCED 2016 SHIPPED	AMERICAN STANDARD	WSC036E3R01	①
RTU 3	5	R-410A	208	3	31/45	2021	CARRIER	WSC060H3	①
RTU 4	4	R-22	208	3 VERIFY	③	2004	TRANE	WSC048A3R0A1	②

- NOTES:
- 1 EXISTING RTU TO REMAIN.
  - 2 EXISTING RTU TO BE REPLACED. PROVIDE CURB ADAPTOR.
  - 3 EQUIPMENT LABEL IS NOT LEGIBLE.



### MECHANICAL SECTION

SCALE: 1/4" = 1'-0"



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FOR CONSTRUCTION

732 THIMBLE SHOALS BLVD. UNIT 604  
NEWPORT NEWS, VA 23608  
(757) 877-9833

WEST POINT LIBRARY  
RELOCATION

433 12TH STREET  
WEST POINT, VIRGINIA

Revision	Date	Initials

MECHANICAL  
DEMOLITION PLAN,  
SECTION AND NOTES

Date: 8/23/22  
Drawn: JWH Checked: WHL  
Project: 22-046

M-2

8/24/2022 Plotted

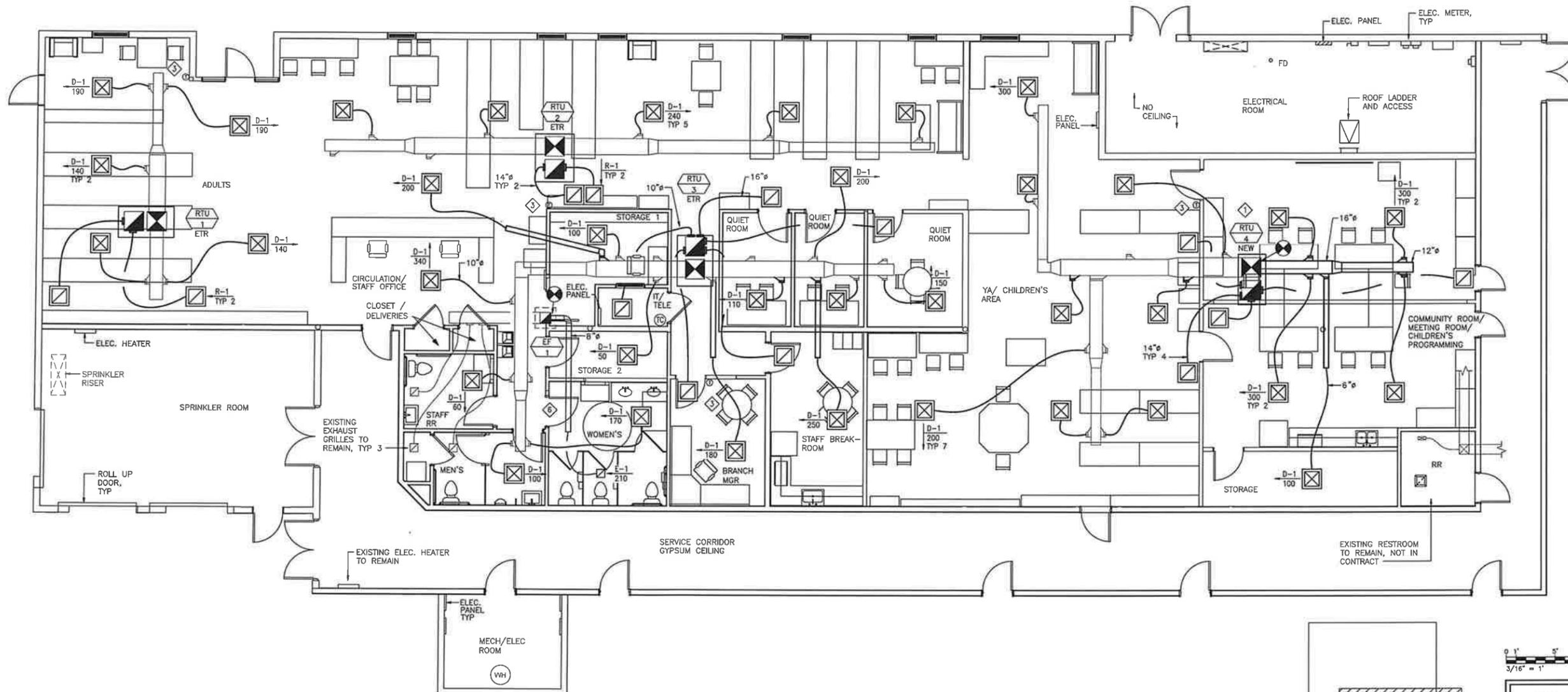
### MECHANICAL DEMOLITION FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

**NEW WORK NOTES**

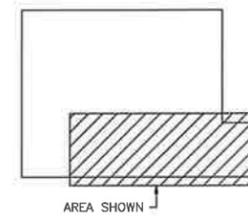
- 1 PROVIDE SERVICE CLEARANCE AS PER MANUFACTURERS RECOMMENDATIONS.
- 2 COORDINATE EXACT LOCATION OF ALL MECHANICAL EQUIPMENT & AIR DEVICES WITH LIGHTS, STRUCTURE AND ALL OTHER TRADES.
- 3 PROVIDE WALL MOUNT LOW VOLTAGE THERMOSTAT.
- 4 PROVIDE AIR BALANCE BY INDEPENDENT CONTRACTOR. (SEPARATE BID ITEM)
- 5 ADJUST FAN SPEED SETTINGS TO HIGH SPEED.
- 6 UNDERCUT DOOR FOR TRANSFER AIR.
- 7 CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BEFORE AND EQUIPMENT IS ORDERED.
- 8 ALL SUPPLY TAKE-OFFS TO HAVE VOLUME DAMPERS FOR AIR BALANCING.
- 9 COORDINATE EXACT LAYOUT OF EQUIPMENT AND DUCTWORK LAYOUT WITH ELECTRICAL PANELS.
- 10 CONTRACTOR SHALL PROVIDE A "RED-LINED" SET OF AS-BUILT DRAWINGS SHOWING ANY REVISIONS MADE IN FIELD.

DIFFUSER & GRILLE SIZE SCHEDULE			
MARK	CFM RANGE	SIZE	NOTES
D-1 & D-2	1-100 CFM 101-200 CFM 201-400 CFM	12"x12" W/ 6" NECK 12"x12" W/ 8" NECK 20"x20" W/ 10" NECK	D-1 = 4-WAY BLOW D-2 = 3-WAY BLOW SURFACE MOUNT
E-1	75-200 CFM 201-500 CFM	12"x12" W/ 6" OR 8" NECK 14"x30" W/ 14" NECK	FIXED BLADE, CEILING (SURFACE MOUNT)



NOTES TYPICAL FOR ENTIRE PLAN  
1 2 3 4 5 6 7 8 9 10

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FOR CONSTRUCTION



**IDG**  
INFINITY DESIGN GROUP  
732 THIMBLE SHOALS BLVD, UNIT 804  
NEWPORT NEWS, VA 23606  
(757) 677-9933

COMMONWEALTH OF VIRGINIA  
WILLIAM H. LAKIN  
No. 028147  
PROFESSIONAL ENGINEER

Date: 8/23/22  
Drawn: JWH Checked: WHL  
Project: 22-046

M-3

**MECHANICAL NEW WORK FLOOR PLAN**

SCALE: 3/16" = 1'-0"

**KEY PLAN**  
NOT TO SCALE

**WEST POINT LIBRARY  
RELOCATION**

433 12TH STREET  
WEST POINT, VIRGINIA

Revision	Date	Initials

MECHANICAL  
NEW WORK PLAN,  
AND NOTES

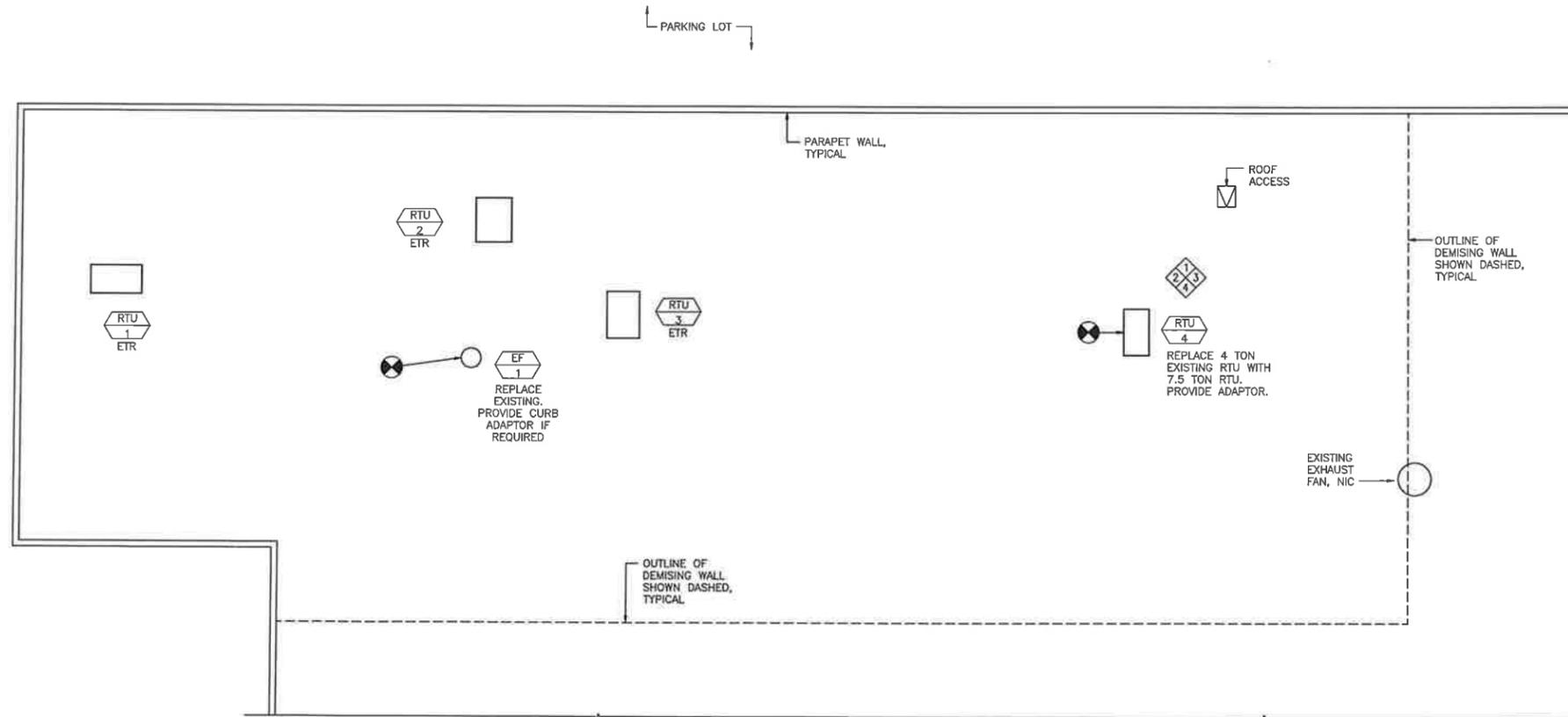
8/24/2022

# WORK NOTES

- ① PROVIDE NEW CONDENSATE DRAIN WITH TRAP. SEE DETAIL.
- ② PROVIDE EQUIPMENT IDENTIFICATION TAG, SEE DETAIL.
- ③ COORDINATE CRANE SCHEDULE WITH OWNER BEFORE CONSTRUCTION.
- ④ PROVIDE CURB ADAPTOR, VERIFY ALL DIMENSIONS BEFORE ORDERING.

MARK	NOMINAL TONS	REFRIGERANT	UNIT ELECTRICAL			YEAR BUILT	MANUFACTURER	MODEL NUMBER	NOTES
			VOLTS	PHASE	MCA/MFS				
RTU 1	2	R-410A	208	1	30/30	2021	TRANE	4WCC4024A	①
RTU 2	3	R-410A	208	3	③	2015 PRODUCED 2016 SHIPPED	AMERICAN STANDARD	WSC036E3R01	①
RTU 3	5	R-410A	208	3	31/45	2021	CARRIER	WSC060H3	①
RTU 4	4	R-22	208	3 VERIFY	③	2004	TRANE	WSC048A3R0A1	②

- NOTES:
- ① EXISTING RTU TO REMAIN.
  - ② EXISTING RTU TO BE REPLACED. PROVIDE CURB ADAPTOR.
  - ③ EQUIPMENT LABEL IS NOT LEGIBLE.



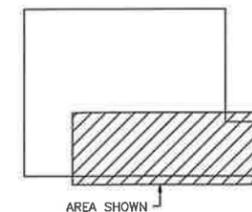
NOTE: EXISTING PLUMBING VENTS ARE NOT SHOWN.

## MECHANICAL ROOF PLAN

SCALE: 1/8" = 1'-0"

## KEY PLAN

NOT TO SCALE



PROGRESS PRINT  
NOT TO BE USED  
FOR CONSTRUCTION

0' 1" 5' 10'  
1/8" = 1"

**IDG**  
INFINITY DESIGN GROUP  
732 THIMBLE SHOALS BLVD. UNIT 604  
NEWPORT NEWS, VA 23606  
(767) 877-9635

Revision	Date	Initials

MECHANICAL  
ROOF PLAN  
AND NOTES



Date: 8/23/22  
Drawn: JWH Checked: WHL  
Project: 22-046

M-4

WEST POINT LIBRARY  
RELOCATION

483 12TH STREET  
WEST POINT, VIRGINIA

**GuernseyTingle**  
757-220-0220 Williamsburg, VA  
guernseytingle.com

**PACKAGED ROOF TOP UNIT SCHEDULE**

MARK	NOMINAL TONS	CONDITION	TOTAL AIR CFM	OUTSIDE AIR CFM	MAX. EXT. AIR IN. W.G.	FAN HP	UNIT ELECTRICAL			NOMINAL COOLING CAPACITIES		NOMINAL HEATING CAPACITIES			WEIGHT LBS	MANUFACTURER & MODEL NUMBER	NOTES
							VOLTS	PHASE	MCA/MFS	SENS. MBH	TOTAL MBH	HEAT PUMP	KW	MIN. COP			
RTU 1	2	ETR	800	132			EXISTING RTU TO REMAIN, SEE SCHEDULE ON M-2										13911
RTU 2	3	ETR	1200	205			EXISTING RTU TO REMAIN, SEE SCHEDULE ON M-2										13911
RTU 3	5	ETR	1970	100			EXISTING RTU TO REMAIN, SEE SCHEDULE ON M-2										13911
RTU 4	7.5	NEW REPLACE EXISTING	3000	462	.75"	1	208	3	87/100	60.9	87.1	91.0	18.0	3.0	796 + CURB	AMERICAN STANDARD WSC092	1234567891012

- NOTES:**
- |  |   |   |  |
|--|---|---|--|
| 1 PROVIDE NEW THERMOSTAT.  | 4 PROVIDE CURB ADAPTOR.   | 7 PROVIDE SINGLE POINT ELECTRICAL CONNECTION. | 10 PROVIDE P-TRAP FOR CONDENSATE DRAIN, SEE DETAIL.                        |
| 2 TRANE IS APPROVED EQUAL.   | 5 PROVIDE 2" FILTER RACK WITH MERV 8 FILTERS. PROVIDE NEW FILTERS AFTER CONSTRUCTION. | 8 PROVIDE ECONOMIZER WITH RELIEF.             | 11 EXISTING RTU TO REMAIN. SEE SCHEDULE ON M-2 FOR ADDITIONAL INFORMATION. |
| 3 PROVIDE LAMINATED ENGRAVED EQUIPMENT IDENTIFICATION, SEE DETAIL. | 6 REFRIGERANT: R-410A   | 9 ADJUST OUTSIDE AIR TO NEW CAM.              | 12 PROVIDE DUCT SMOKE DETECTOR AS PER CODE.                                |

**FAN SCHEDULE**

MARK	AREA SERVED	FAN LOCATION/TYPE	CAPACITY CFM	STATIC PRESSURE IN. W.G.	RPM	DUTY	FAN MOTOR			METHOD OF CONTROL	MANUFACTURER & MODEL NUMBER	NOTES
							HP	VOLTS	PHASE			
EF 1	RESTROOMS	ROOF/DIRECT DRIVE	420	.375"	1625	EXHAUST	.25	120	1	TIME CLOCK	S&P SDBDBSC	1234567

- NOTES:**
- |   |  |
|---|--|
| 1 PROVIDE MEANS OF ELECTRICAL DISCONNECT.                                   | 4 PROVIDE BACK DRAFT DAMPER.                         |
| 2 PROVIDE UNIT MOUNTED SOLID STATE SPEED CONTROL.                           | 5 CLEARLY MARK ON SPEED CONTROL BALANCED VALUE.      |
| 3 PROVIDE ROOF CURB ADAPTOR OR ORDER TO FIT EXISTING CURB (19"x19" VERIFY). | 6 BIEDERT & PENN ARE APPROVED EQUAL.                 |
|   | 7 PROVIDE TIME CLOCK AND ADJUST TO OCCUPIED PERIODS. |

**VENTILATION CALCULATIONS**

<p><b>RTU-1</b></p> <p>LIBRARY (ADULTS)</p> <p>(Az) NET AREA: 787 SF</p> <p>OCCUPANCY: 10 PEOPLE/1000 SF</p> <p>(Pz) QTY. OF PEOPLE: 8 PERSON</p> <p>(Rp) VENTILATION RATE: (PEOPLE) 5 CFM/P</p> <p>(RrPz) CFM FOR OCCUPANCY: (PEOPLE) 40 CFM</p> <p>(Ra) VENTILATION RATE: (AREA) .12 CFM/SF</p> <p>(RAAz) FRESH AIR REQUIRED: (AREA) 92 CFM</p> <p>(Vbz) TOTAL FRESH AIR REQUIRED: 132 CFM</p> <p>TOTAL FOR RTU-1: 132 CFM</p>	<p>STAFF BREAK ROOM</p> <p>(Az) NET AREA: 169 SF</p> <p>OCCUPANCY: 30 PEOPLE/1000 SF</p> <p>(Pz) QTY. OF PEOPLE: 5 PERSON</p> <p>(Rp) VENTILATION RATE: (PEOPLE) 5 CFM/P</p> <p>(RrPz) CFM FOR OCCUPANCY: (PEOPLE) 25 CFM</p> <p>(Ra) VENTILATION RATE: (AREA) .06 CFM/SF</p> <p>(RAAz) FRESH AIR REQUIRED: (AREA) 10 CFM</p> <p>(Vbz) TOTAL FRESH AIR REQUIRED: 35 CFM</p>	<p><b>RTU-4</b></p> <p>LIBRARY (YA CHILDREN'S AREA)</p> <p>(Az) NET AREA: 587 SF</p> <p>OCCUPANCY: 10 PEOPLE/1000 SF</p> <p>(Pz) QTY. OF PEOPLE: 6 PERSON</p> <p>(Rp) VENTILATION RATE: (PEOPLE) 5 CFM/P</p> <p>(RrPz) CFM FOR OCCUPANCY: (PEOPLE) 30 CFM</p> <p>(Ra) VENTILATION RATE: (AREA) .12 CFM/SF</p> <p>(RAAz) FRESH AIR REQUIRED: (AREA) 70 CFM</p> <p>(Vbz) TOTAL FRESH AIR REQUIRED: 100 CFM</p>
<p><b>RTU-2</b></p> <p>LIBRARY (ADULTS)</p> <p>(Az) NET AREA: 1211 SF</p> <p>OCCUPANCY: 10 PEOPLE/1000 SF</p> <p>(Pz) QTY. OF PEOPLE: 12 PERSON</p> <p>(Rp) VENTILATION RATE: (PEOPLE) 5 CFM/P</p> <p>(RrPz) CFM FOR OCCUPANCY: (PEOPLE) 60 CFM</p> <p>(Ra) VENTILATION RATE: (AREA) .12 CFM/SF</p> <p>(RAAz) FRESH AIR REQUIRED: (AREA) 145 CFM</p> <p>(Vbz) TOTAL FRESH AIR REQUIRED: 205 CFM</p> <p>TOTAL FOR RTU-2: 205 CFM</p>	<p>QUIET ROOM 1</p> <p>(Az) NET AREA: 81 SF</p> <p>OCCUPANCY: 5 PEOPLE/1000 SF</p> <p>(Pz) QTY. OF PEOPLE: 1 PERSON</p> <p>(Rp) VENTILATION RATE: (PEOPLE) 5 CFM/P</p> <p>(RrPz) CFM FOR OCCUPANCY: (PEOPLE) 5 CFM</p> <p>(Ra) VENTILATION RATE: (AREA) .06 CFM/SF</p> <p>(RAAz) FRESH AIR REQUIRED: (AREA) 5 CFM</p> <p>(Vbz) TOTAL FRESH AIR REQUIRED: 10 CFM</p>	<p>LIBRARY (YA CHILDREN'S AREA)</p> <p>(Az) NET AREA: 612 SF</p> <p>OCCUPANCY: 10 PEOPLE/1000 SF</p> <p>(Pz) QTY. OF PEOPLE: 7 PERSON</p> <p>(Rp) VENTILATION RATE: (PEOPLE) 5 CFM/P</p> <p>(RrPz) CFM FOR OCCUPANCY: (PEOPLE) 35 CFM</p> <p>(Ra) VENTILATION RATE: (AREA) .12 CFM/SF</p> <p>(RAAz) FRESH AIR REQUIRED: (AREA) 73 CFM</p> <p>(Vbz) TOTAL FRESH AIR REQUIRED: 108 CFM</p>
<p><b>RTU-3</b></p> <p>CLOSET/DELIVERIES</p> <p>(Az) NET AREA: 244 SF</p> <p>OCCUPANCY: 5 PEOPLE/1000 SF</p> <p>(Pz) QTY. OF PEOPLE: 1 PERSON</p> <p>(Rp) VENTILATION RATE: (PEOPLE) 5 CFM/P</p> <p>(RrPz) CFM FOR OCCUPANCY: (PEOPLE) 5 CFM</p> <p>(Ra) VENTILATION RATE: (AREA) .06 CFM/SF</p> <p>(RAAz) FRESH AIR REQUIRED: (AREA) 15 CFM</p> <p>(Vbz) TOTAL FRESH AIR REQUIRED: 20 CFM</p>	<p>QUIET ROOM 2</p> <p>(Az) NET AREA: 81 SF</p> <p>OCCUPANCY: 5 PEOPLE/1000 SF</p> <p>(Pz) QTY. OF PEOPLE: 1 PERSON</p> <p>(Rp) VENTILATION RATE: (PEOPLE) 5 CFM/P</p> <p>(RrPz) CFM FOR OCCUPANCY: (PEOPLE) 5 CFM</p> <p>(Ra) VENTILATION RATE: (AREA) .06 CFM/SF</p> <p>(RAAz) FRESH AIR REQUIRED: (AREA) 5 CFM</p> <p>(Vbz) TOTAL FRESH AIR REQUIRED: 10 CFM</p>	<p>COMMUNITY ROOM / MEETING ROOM / CHILDREN'S PROGRAMMING</p> <p>(Az) NET AREA: 812 SF</p> <p>OCCUPANCY: 50 PEOPLE/1000 SF</p> <p>(Pz) QTY. OF PEOPLE: 41 PERSON</p> <p>(Rp) VENTILATION RATE: (PEOPLE) 5 CFM/P</p> <p>(RrPz) CFM FOR OCCUPANCY: (PEOPLE) 205 CFM</p> <p>(Ra) VENTILATION RATE: (AREA) .06 CFM/SF</p> <p>(RAAz) FRESH AIR REQUIRED: (AREA) 49 CFM</p> <p>(Vbz) TOTAL FRESH AIR REQUIRED: 254 CFM</p> <p>TOTAL FOR RTU-4: 482 CFM</p>
<p>BRANCH MANAGER</p> <p>(Az) NET AREA: 134 SF</p> <p>OCCUPANCY: 5 PEOPLE/1000 SF</p> <p>(Pz) QTY. OF PEOPLE: 1 PERSON</p> <p>(Rp) VENTILATION RATE: (PEOPLE) 5 CFM/P</p> <p>(RrPz) CFM FOR OCCUPANCY: (PEOPLE) 5 CFM</p> <p>(Ra) VENTILATION RATE: (AREA) .06 CFM/SF</p> <p>(RAAz) FRESH AIR REQUIRED: (AREA) 8 CFM</p> <p>(Vbz) TOTAL FRESH AIR REQUIRED: 13 CFM</p>	<p>QUIET ROOM 3</p> <p>(Az) NET AREA: 114 SF</p> <p>OCCUPANCY: 5 PEOPLE/1000 SF</p> <p>(Pz) QTY. OF PEOPLE: 1 PERSON</p> <p>(Rp) VENTILATION RATE: (PEOPLE) 5 CFM/P</p> <p>(RrPz) CFM FOR OCCUPANCY: (PEOPLE) 5 CFM</p> <p>(Ra) VENTILATION RATE: (AREA) .06 CFM/SF</p> <p>(RAAz) FRESH AIR REQUIRED: (AREA) 7 CFM</p> <p>(Vbz) TOTAL FRESH AIR REQUIRED: 12 CFM</p> <p>TOTAL FOR RTU-3: 100 CFM</p>	<p><b>NOTES:</b></p> <p>* ALL AREAS ARE NET.</p> <p>* 2018 VIRGINIA MECHANICAL CODE.</p> <p><b>DEFINITIONS:</b></p> <p>Az = ZONE FLOOR AREA</p> <p>D = OCCUPANT DIVERSITY (D=Ps/Σ ALL ZONES Pz)</p> <p>Ev = SYSTEM VENTILATION EFFICIENCY</p> <p>Ez = ZONE AIR DISTRIBUTION EFFECTIVENESS</p> <p>(USE .8 FOR CEILING SUPPLY AND CEILING RETURN)</p> <p>Ps = SYSTEM POPULATION</p> <p>Pz = ZONE POPULATION</p> <p>RA = AREA OUTDOOR AIR RATE</p> <p>Rp = PEOPLE OUTDOOR AIR RATE</p> <p>Vbz = BREATHING ZONE OUTDOOR AIR FLOW</p> <p>Vot = SYSTEM OUTDOOR AIR FLOW RATE (Vot=Vou/Ev)</p> <p>Vou = UNCORRECTED OUTDOOR AIR INTAKE</p> <p>(Vou=DΣ ALL ZONES RrPz+Σ ALL ZONES RAAz)</p> <p>Voz = ZONE OUTDOOR AIR FLOW (Voz=Vbz/Ez)</p> <p>Vpz = PRIMARY AIR FLOW (SUPPLY AIR)</p> <p>Zp = PRIMARY OUTDOOR AIR FRACTION</p>

**GRILLE, REGISTER & DIFFUSER SCHEDULE**

MARK	TYPE	MANUFACTURER	MODEL NUMBER	CONSTR.	FINISH	NOTES
D-1	CEILING SUPPLY AIR	NAILOR	6500 22x22	STEEL	WHITE	13
R-1	CEILING RETURN AIR	NAILOR	6145 22x22	STEEL	WHITE	234
E-1	EXHAUST AIR GRILLE	NAILOR	6145 22x22	STEEL	WHITE	234

- NOTES:**
- PROVIDE OPPOSED BLADE DAMPER.
  - PROVIDE INSULATED PLENUM BOX WITH ROUND NECK COLLAR. EXTEND AS REQUIRED.
  - KRUGER IS APPROVED EQUAL.
  - FRAME FOR ACT. CEILING.

**GuernseyTingle**  
757-220-0220 Williamsburg, VA  
guernseytingle.com

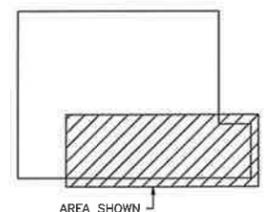
**WEST POINT LIBRARY  
RELOCATION**

439 12TH STREET  
WEST POINT, VIRGINIA

REVISION SCHEDULE

#	Description	Date	Initials

MECHANICAL  
SCHEDULES AND  
VENTILATION  
CALCULATIONS



**KEY PLAN**  
NOT TO SCALE

**PROGRESS PRINT**  
NOT TO BE USED  
FOR CONSTRUCTION

**IDG**  
INFINITY DESIGN GROUP

732 THIMBLE SHOALS BLVD. UNIT 604  
NEWPORT NEWS, VA 23608  
(757) 877-9833

COMMONWEALTH OF VIRGINIA  
WILLIAM H. LAKIN  
No. 028147  
PROFESSIONAL ENGINEER

Date: 8/23/22  
Drawn: JWH Checked: VHL  
Project: 22-046

**M-5**

Plotted 8/23/22 14:17/8

ELECTRICAL ABBREVIATIONS			
1PH	SINGLE-PHASE	KCMIL	THOUSAND CIRCULAR MILS
1P	SINGLE POLE	kV	KILOVOLT
2/C	TWO-CONDUCTOR	kW	KILOWATT
3/C	THREE-CONDUCTOR	LC	LIGHTING CONTACTOR
3PH	THREE-PHASE	LED	LIGHT EMITTING DIODE
4/C	FOUR-CONDUCTOR	LF	LINEAR FEET (FOOT)
4W	FOUR-WIRE	LTS	LIGHTS
A/C	AIR CONDITIONING	LTG	LIGHTING
AC	ALTERNATING CURRENT OR ARMORED CABLE	MAU	MAKE-UP AIR UNIT
AFC	AVAILABLE FAULT CURRENT	MAX	MAXIMUM
AFF	ABOVE FINISHED FLOOR	MC	METAL-CLAD
AFG	ABOVE FINISHED GRADE	MCA	MINIMUM CIRCUIT AMPS
AHU	AIR HANDLING UNIT	MCB	MAIN CIRCUIT BREAKER
AIC	AMPERE INTERRUPTING CAPACITY	MCC	MOTOR CONTROL CENTER
AIP	ABANDON IN PLACE	P1	MAIN DISTRIBUTION PANEL
AMP	AMPERE	MIN	MINIMUM
ATS	AUTOMATIC TRANSFER SWITCH	MOCP	MAXIMUM OVERCURRENT PROTECTION
BAT	BATTERY	MLO	MAIN LUGS ONLY
BC	BARE COPPER	NA OR N/A	NOT APPLICABLE
BFG	BELOW FINISHED GRADE	NEC	NATIONAL ELECTRICAL CODE
BLDG	BUILDING	NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
C	CONDUIT	NEUT OR N	NEUTRAL
CAB	CABINET	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
CAP	CAPACITY	NFC	NOT IN CONTRACT
CAT	CATALOG	NO	NORMALLY OPEN
CB	CIRCUIT BREAKER	NTS	NOT TO SCALE
CFL	COMPACT FLOURESCENT	OC	ON CENTER
CKT	CIRCUIT	OD	OUTSIDE DIAMETER
CMU	CONCRETE MASONRY UNIT	OL	OVERLOAD
CONC	CONCRETE	PA	POLE
CONT	CONTINUE	PA	PUBLIC ANNOUNCEMENT
CU	COPPER OR CONDENSING UNIT	PF	POWER FACTOR
CU FT	CUBIC FEET	PH	PHASE
DC	DIRECT CURRENT	PNL	PANEL
DEMO	DEMOLITION	PVC	POLYVINYL CHLORIDE (PLASTIC)
DIA	DIAMETER	PWR	POWER
DIAG	DIAGRAM	RCP	REFLECTED CEILING PLAN
DISC	DISCONNECT	REC	RECEPTACLE
DIST	DISTRIBUTION	RGS	RIGID GALVANIZED STEEL
DN	DOWN	SE	SERVICE ENTRANCE
DPDT	DOUBLE POLE, DOUBLE THROW	SER	SERVICE ENTRANCE RATED
DPST	DOUBLE POLE, SINGLE THROW	SHT	SHEET
DWG	DRAWING	SN	SOLID NEUTRAL
EBU	EMERGENCY BACKUP UNIT	SPST	SINGLE POLE, SINGLE THROW
EF	EXHAUST FAN	SW	SWITCH
EL	ELEVATION	SWBD	SWITCHBOARD
ELEC	ELECTRIC OR ELECTRICAL	SWGR	SWITCHGEAR
EMER	EMERGENCY	TYP	TYPICAL
EMT	ELECTRICAL METALLIC TUBING	UL	UNDERWRITERS LABORATORY
ENCL	ENCLOSURE	UON	UNLESS OTHERWISE NOTED
ETR	EXISTING TO REMAIN	UPS	UNINTERRUPTIBLE POWER SUPPLY
EX	EXISTING	V	VOLT
FACP	FIRE ALARM CONTROL PANEL	VA	VOLT AMPERE
FC	FOOTCANDLE	VFD	VARIABLE FREQUENCY DRIVE
FLA	FULL LOAD AMPS	W	WATT
FLEX	FLEXIBLE METALLIC CONDUIT	W/	WITH
FT	FEET OR FOOT	W/O	WITHOUT
G OR GND	GROUND	WP	WEATHERPROOF
GFCI/GFI	GROUND FAULT CIRCUIT INTERRUPTER	XFMR	TRANSFORMER
HOA	HAND-OFF-AUTOMATIC	≈	ALMOST EQUAL
HP	HORSEPOWER OR HEAT PUMP	⊕	AT
IMC	INTERMEDIATE METAL CONDUIT	⊖	CENTERLINE
IG	ISOLATED GROUND	⊕	ELECTRICAL PHASE
J-BOX	JUNCTION BOX	⊖	DIAMETER
KAIC	KILOAMPERE INTERRUPTING CAPACITY		

**ELECTRICAL NOTES**

- ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE 2014 NATIONAL ELECTRICAL CODE (NEC), THE UNIFORM STATEWIDE BUILDING CODE (USBC), AND ALL APPLICABLE REGULATIONS AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS AND ORDINANCES.
- THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID TO ENSURE A THOROUGH UNDERSTANDING OF THE EXISTING CONDITIONS. ANY ERRORS OR COSTS INCURRED DUE TO A LACK OF KNOWLEDGE OF THE EXISTING CONDITIONS SHALL NOT BE CONSIDERED SUFFICIENT JUSTIFICATION FOR A CHANGE ORDER OR OTHER ALLOWANCES.
- VERIFY DIMENSIONS AND EQUIPMENT LOCATIONS PRIOR TO FABRICATION OR CONSTRUCTION. WHERE APPLICABLE, EQUIPMENT LOCATION SHALL BE ADA-COMPLIANT. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
- THE USE OF THE WORD "PROVIDE" HEREIN SHALL BE DEFINED TO MEAN FURNISH AND INSTALL USING ALL NECESSARY LABOR, TOOLS, EQUIPMENT, MATERIALS, ETC.
- THE CONTRACTOR SHALL PROVIDE A COMPLETE ELECTRICAL SYSTEM, FULLY OPERATIONAL, TESTED, AND READY FOR ITS INTENDED USE.
- ALL PROVIDED ELECTRICAL EQUIPMENT, MATERIALS, COMPONENTS, ETC. SHALL BE NEW, FREE OF DEFECTS, AND UL LISTED.
- SUBMIT ELECTRONIC COPIES OF SHOP DRAWINGS AND CUT SHEETS FOR MATERIALS, EQUIPMENT, AND OTHER ELECTRICAL COMPONENTS FOR REVIEW AND APPROVAL. SUBMITTAL APPROVAL DOES NOT RELIEVE CONTRACTOR OF RESPONSIBILITY FOR PROVIDING A COMPLETE, FULLY FUNCTIONING ELECTRICAL SYSTEM.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL REQUIRED PERMITS AND INSPECTIONS. PROVIDE INSPECTION CERTIFICATES TO THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL BE LICENSED AND FULLY BONDED, AND SHALL PROVIDE A WRITTEN WARRANTY AGAINST DEFECTIVE WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FOLLOWING FINAL ACCEPTANCE.
- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO SHOW DETAILED LOCATIONS OF CONDUIT RUNS OR EQUIPMENT LOCATIONS. COORDINATE WITH OTHER TRADES AND EQUIPMENT SUPPLIERS TO AVOID CONFLICTS. SEE ARCHITECTURAL PLANS FOR ADDITIONAL DIMENSIONS, ROOM FINISHES, CEILING ELEVATIONS, ETC.
- UNLESS NOTED OTHERWISE, ALL CIRCUITRY IN FINISHED AREAS SHALL BE RUN CONCEALED IN WALLS OR ABOVE CEILINGS.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED CUTTING AND PATCHING. DO NOT CUT STRUCTURAL COMPONENTS WITHOUT PRIOR APPROVAL. PATCH AND FINISH TO MATCH ADJACENT AREAS.
- WHERE IT IS NECESSARY TO PENETRATE A SMOKE OR FIRE-RATED WALL, FLOOR, OR PARTITION, THE PENETRATION SHALL BE SLEEVED AND THE OPENING AROUND THE RACEWAY SHALL BE FIRE STOPPED USING A UL-LISTED AND APPROVED METHOD TO MAINTAIN THE EXISTING RATING.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REINSTALLATION OF CEILING TILES, AS REQUIRED, TO FACILITATE COMPLETING THE WORK SHOWN. ANY TILES DAMAGED SHALL BE REPLACED WITH NEW, MATCHING TILES BY THE ELECTRICAL CONTRACTOR.
- PROVIDE PRINTED LABELS FOR ALL PANELBOARDS, SAFETY SWITCHES, DISCONNECTS, EQUIPMENT CABINETS, WIREWAYS, AND PULL BOXES. LABELS SHALL BE IN ACCORDANCE WITH THE DETAIL SHOWN ON SHEET E-01. ENSURE ALL LABELS ARE VISIBLE FOLLOWING FINAL INSTALLATION.
- ALL WIRE AND CABLE SHALL BE INSTALLED IN CONDUIT OR AS NOTED BELOW:
  - WHERE PERMITTED BY NEC ARTICLE 330, TYPE MC CABLE MAY BE USED; EXCEPT WHERE EXPOSED.
  - WHERE PERMITTED BY NEC ARTICLE 334, TYPE NM CABLE MAY BE USED; EXCEPT WHERE EXPOSED.
- ALL CONDUCTOR SIZES SPECIFIED HEREIN ARE BASED ON COPPER CONDUCTORS WITH TYPE THHN/THWN-2 INSULATION UON. WITH APPROVAL FROM THE OWNER'S REPRESENTATIVE, ALUMINUM MAY BE USED AS AN ALTERNATIVE FOR THE SERVICE ENTRANCE CONDUCTORS ONLY, PROVIDED IT IS PROPERLY SIZED FOR THE RATED CURRENT.
- CLEAN UP WORK SITE AT THE END OF EACH WORKING DAY. DISPOSE OF ALL WASTE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- ANY AND ALL BUILDING SURFACES, AREAS, OR MATERIALS DAMAGED BY THE CONTRACTOR DURING THE EXECUTION OF THIS WORK SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AVAILABLE FAULT CURRENT AND SERVICE CHARACTERISTICS WITH UTILITY COMPANY PRIOR TO ORDERING EQUIPMENT OR BEGINNING CONSTRUCTION. ENSURE ALL EQUIPMENT IS RATED FOR THE AVAILABLE FAULT CURRENT. SERIES RATING OF EQUIPMENT IS NOT ALLOWED.
- FUSES PROVIDED WITH ALL SAFETY SWITCHES, DISCONNECTS, PANELS, MCC'S, ETC. SHALL BE CLASS J OR RK1 UON.
- ALL SAFETY SWITCHES AND DISCONNECTS SHALL BE TYPE HD BY THE SAME MANUFACTURER. APPROVED MANUFACTURERS ARE EITHER G.E. OR SQUARE-D. PROVIDE PRINTED LABEL IN ACCORDANCE WITH THE DETAIL SHOWN ON SHEET E-01.
- FOR ALL SWITCHES THAT CONTROL A LIGHTING LOAD, PROVIDE A NEUTRAL (GROUNDED CONDUCTOR) AT THE SWITCH BOX.
- GROUNDED CONDUCTORS SHALL BE CONNECTED TO DEVICES IN SUCH A MANNER THAT ANY DEVICE MAY BE REMOVED WITHOUT INTERRUPTING THE CONTINUITY OF THE GROUND CIRCUIT TO ANY OTHER DEVICE.

GENERAL SYMBOL LEGEND	
	EXISTING OBJECT or CONDUCTOR
	NEW OBJECT or CONDUCTOR
	OBJECT/AREA OF DEMOLITION
	BEGINNING OR LIMIT OF DEMOLITION WORK
	BEGINNING OR LIMIT OF NEW WORK
	NEW WORK KEYNOTE IDENTIFIER
	DEMOLITION KEYNOTE IDENTIFIER
	MECHANICAL EQUIPMENT IDENTIFIER
	REVISION IDENTIFIER

RECEPTACLE LEGEND	
	RECEPTACLE, DUPLEX, 125V, 20A-2P, 3W
	RECEPTACLE, QUADPLEX, 125V, 20A-2P, 3W
	RECEPTACLE, 220V, 20A-2P, 3W
	RECEPTACLE, SIMPLEX, 125V, 20A-2P, 3W
	RECEPTACLE, SPECIAL (SEE NOTES/SPECS)
	BOXED SYMBOLS = RECESSED FLOOR TYPE
	CIRCLE SYMBOLS = RECESSED CEILING TYPE

**GENERAL RECEPTACLE NOTES:**  
 ALL RECEPTACLES SHALL BE FLUSH-MOUNT 18" AFF UNLESS OTHERWISE NOTED.  
 IDENTIFIERS FOUND ADJACENT TO THESE SYMBOLS ARE DESCRIBING THE FOLLOWING:  
 #AFF = MOUNTED HEIGHT ABOVE FINISHED FLOOR  
 CTR = COUNTER TOP RECEPTACLE;  
 MOUNT 6" ABOVE TOP OF COUNTER  
 GFI = GROUND FAULT CIRCUIT INTERRUPTER.  
 HUBBELL GF5362-1 OR EQUAL  
 IG = ISOLATED GROUND RECEPTACLE - 20A-2P, 125V  
 WP = IN-USE WEATHERPROOF COVER

POWER LEGEND	
	ELECTRICAL UTILITY SERVICE METER
	PANELBOARD, 208/120V OR 240/120V
	PANELBOARD, 480/277V
	TRANSFORMER
	DISCONNECT SWITCH, HEAVY DUTY
	DISCONNECT SWITCH, FUSED, HEAVY DUTY
	MOTOR STARTER
	COMBINATION MOTOR STARTER/FUSED DS

DATA/COMMUNICATIONS LEGEND	
	COAXIAL/HDMI COMBO
	TELEPHONE PHONE
	DATA
	PHONE/DATA COMBO
	RECESSED FLOOR BOX (CENTER SYMBOL MAY BE ONE OF THE ABOVE)

**GENERAL TELECOM OUTLET NOTE:**  
 ALL DATA/COMMUNICATIONS OUTLET BOXES SHALL BE FLUSH-MOUNT 18" AFF UNLESS OTHERWISE NOTED ADJACENT TO THESE SYMBOLS ON THE DESIGN PLANS.  
 PROVIDE 1" PVC CONDUIT ABOVE THE CEILING OR UP TO ROOFING FRAMING MEMBERS. PROVIDE SEPARATE PULL STRINGS FOR EACH CABLE TO BE PULLED.

WIRING & CONNECTIONS LEGEND	
	CIRCUIT WIRING & HOME RUN SYMBOLS: ARROW = BRANCH CIRCUIT HOME RUN INTEGRAL = BRANCH CIRCUIT CONNECTION LETTER & NUMBER(S) = POWER PANEL & CIRCUIT(S)
	JUNCTION BOX SYMBOLS: WALL, RECESSED FLOOR, ABOVE CEILING
	SERVICE TO MECHANICAL DEVICE SYMBOLS: WALL MOUNTED, EQUIPMENT MOUNTED

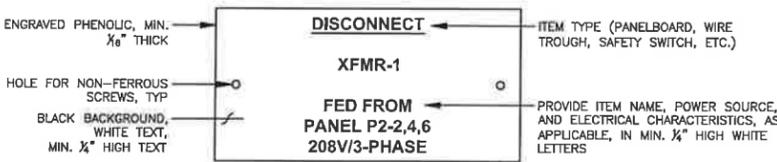
LIGHTING LEGEND	
	SWITCH, SINGLE THROW, SINGLE POLE

**GENERAL SWITCH NOTES:**  
 ALL SWITCHES SHALL BE FLUSH-MOUNT 48" AFF UNLESS OTHERWISE NOTED ADJACENT TO THESE SYMBOLS ON THE DESIGN PLANS. SWITCH VOLTAGE AND CURRENT RATING SHALL MEET OR EXCEED CIRCUIT RATING. USE MULTIPLE GANG GROUPED SWITCHES WHEN POSSIBLE.  
 IDENTIFIERS FOUND ADJACENT TO SWITCH ARE DESCRIBING THE FOLLOWING:  
 3 = 3-WAY TOGGLE  
 4 = 4-WAY TOGGLE  
 DM = DIMMER  
 D = DOOR  
 F = FAN CONTROL  
 K = KEY-OPERATED SWITCH  
 M = MOTION SENSOR, MULTI-TECHNOLOGY (PIR/ULTRASONIC)

	SUSPENDED MOUNTED
	RECESSED
	SURFACE MOUNTED
	HATCHED FIXTURES = EBU INCLUDED OR WIRED FOR CONT. "NIGHTLIGHT" OPERATION
	PENDANT
	DOWNLIGHT, SURFACE MOUNTED
	DOWNLIGHT, RECESSED
	WALL MOUNT, VANITY
	EXTERIOR WALL MOUNT
	TRACK LIGHTS
	EXIT LIGHT FIXTURE; SHADED AREA(S) INDICATES SIGN FACE; ARROW(S) INDICATE DIRECTIONAL ARROWS TO DISPLAY ON INSTALLED SIGN
	EXIT LIGHT FIXTURE WITH BUILT-IN EMERGENCY LIGHTS & BATTERY PACK UNIT
	EMERGENCY LIGHTS & BATTERY PACK UNIT
	REMOTE HEAD
	CEILING FAN / WITH LIGHT FIXTURE

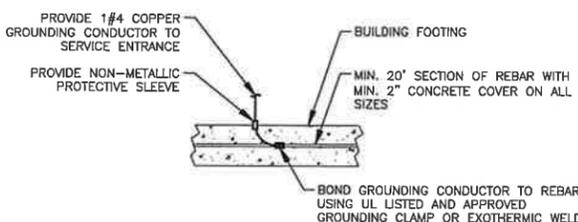
**GENERAL LIGHTING NOTE:**  
 IDENTIFIERS FOUND ADJACENT TO FIXTURE ARE DESCRIBING THE FIXTURE TYPE; SEE LIGHTING FIXTURE SCHEDULE IN THIS DESIGN PACKAGE FOR DETAILS. VERIFY FIXTURE QUANTITIES, LOCATIONS, AND TYPES WITH OWNER PRIOR TO INSTALLATION.

	WALL MOUNTED LIGHTING CONTACTOR
	WALL MOUNTED TIME CLOCK
	WALL MOUNTED PHOTOCELL - MOUNT PER MANUFACTURER'S RECOMMENDATIONS. INSTALL TO LIMIT VISIBILITY FROM PEDESTRIAN TRAFFIC. MOUNTING LOCATION INDICATED ON DRAWING MAY BE RELOCATED TO ALLOW FOR A LESS VISIBLE SENSOR OR TO PROVIDE FOR MORE ACCURATE SWITCHING. TUNE/CALIBRATE SENSOR AND VERIFY PROPER OPERATION.
	CEILING MOUNTED OCCUPANCY SENSOR - LOW VOLTAGE. PROVIDE POWER SUPPLY. ENSURE UNIT IS RATED FOR PROPER CIRCUIT AMPERAGE & VOLTAGE RATING; UNIT MUST PROVIDE AT LEAST 1,000 SQ. FT. COVERAGE. UON, MOUNT PER MANUFACTURER'S RECOMMENDATIONS IN AREA SPECIFIED. VERIFY & TUNE/CALIBRATE MOTION SENSOR FOR PROPER SWITCHING OF LIGHTS.
	CEILING MOUNTED O.S. POWER RPACK - ENSURE UNIT IS RATED FOR PROPER CIRCUIT AMPERAGE & VOLTAGE.



- NOTES:**  
 1. FOLLOW MANUFACTURER'S GUIDELINES FOR MOUNTING.  
 2. VERIFY ID TAG SIZE PRIOR TO ORDERING.

**ELECTRICAL EQUIPMENT TAG DETAIL**  
 NOT TO SCALE



- NOTES:**  
 1. FOOTING TO BE GROUNDED AS SHOWN ONLY WHEN REBAR IS PRESENT.  
 2. FOOTING GROUNDED SYSTEM TO BE BONDED TO ALL OTHER GROUNDED ELECTRODE SYSTEMS.

**FOOTING GROUNDING CONNECTION DETAIL**  
 NOT TO SCALE



**WEST POINT LIBRARY  
 RELOCATION**  
 433 12TH STREET  
 WEST POINT, VA 23181

REVISION SCHEDULE			
NO.	DATE	INITIALS	DESCRIPTION

**ELECTRICAL COVER SHEET**

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

Date: 08/30/2022  
 Drawn: JPT Checked: CLB  
 Project: 220310

E-01



**DEMOLITION KEY NOTES** ⑦

1. DEMOLISH ALL LIGHTING AND RECEPTACLES IN HATCHED AREAS SHOWN.
2. EXISTING RECEPTACLES IN ETR WALLS TO REMAIN. MAINTAIN INTEGRITY OF CONDUCTORS FROM RECEPTACLES TO ACCESSIBLE SPACE FOR RECONNECTION TO NEW BRANCH CIRCUIT. SOME LOCATIONS ASSUMED.
3. EXISTING LIGHTING TO REMAIN IN ETR ROOMS. MAINTAIN INTEGRITY OF CONDUCTORS FROM LIGHT AND SWITCH TO ACCESSIBLE SPACE FOR RECONNECTION TO NEW BRANCH CIRCUIT.
4. REMOVE EXTERIOR WALL MOUNT "POLICE" LIGHT FIXTURES. RETAIN BOX AND CIRCUITRY FOR USE WITH REPLACEMENT FIXTURES PER LIGHTING PLAN.
5. DISCONNECT EXHAUST FAN AND RETAIN CIRCUIT FOR REUSE.
6. DISCONNECT RTU-4 AND REMOVE CONDUCTORS BACK TO SOURCE.

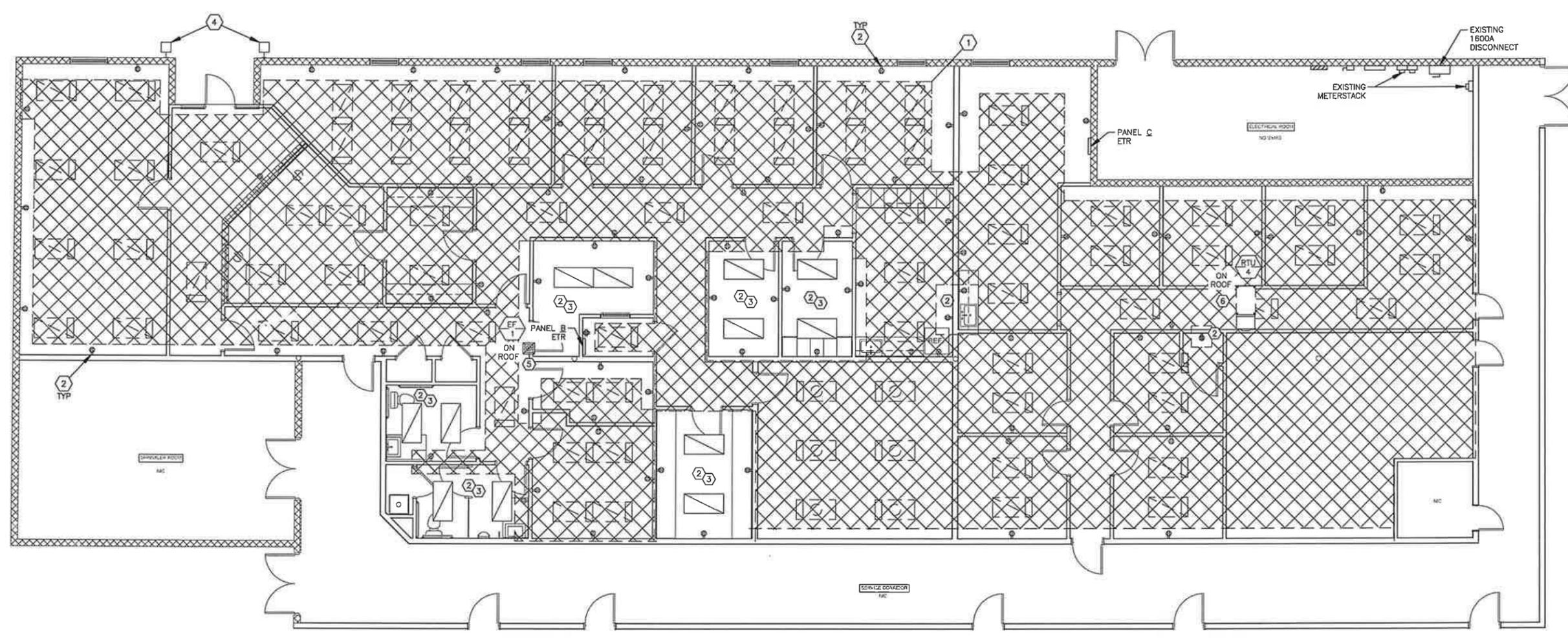
NO.	DATE	INITIALS	DESCRIPTION
1	08/30/2022	JPT	INITIAL ISSUE

These changes will be made to the drawings to reflect the accuracy of field quantities and may not be binding. Approval of field quantities is the responsibility of the contractor.

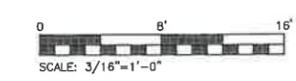
**ELECTRICAL  
DEMOLITION WORK  
PLAN**

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

Date: 08/30/2022  
Drawn: JPT Checked: CLB  
Project: 220310  
**E-02**



**A ELECTRICAL DEMOLITION WORK - PLAN**  
3/16"=1'-0"



**NEW WORK KEYNOTE #**

1. SAW CUT FLOOR AND PATCH FLOOR AS REQUIRED TO PROVIDE FLUSH FLOOR BOXES WITH POWER AND TELECOM OUTLETS AND CONCEALED CIRCUITRY. COORDINATE WITH ARCHITECT TO MATCH FLOOR FINISH.
2. INSTALL NEW LABEL ON METERSTACK. SEE RISER DIAGRAM ON SHEET E-06

**GuernseyTingle**  
 757-220-0220 Williamsburg, VA  
 guernseytingle.com

**WEST POINT LIBRARY  
 RELOCATION**  
 433 12TH STREET  
 WEST POINT, VA 23181

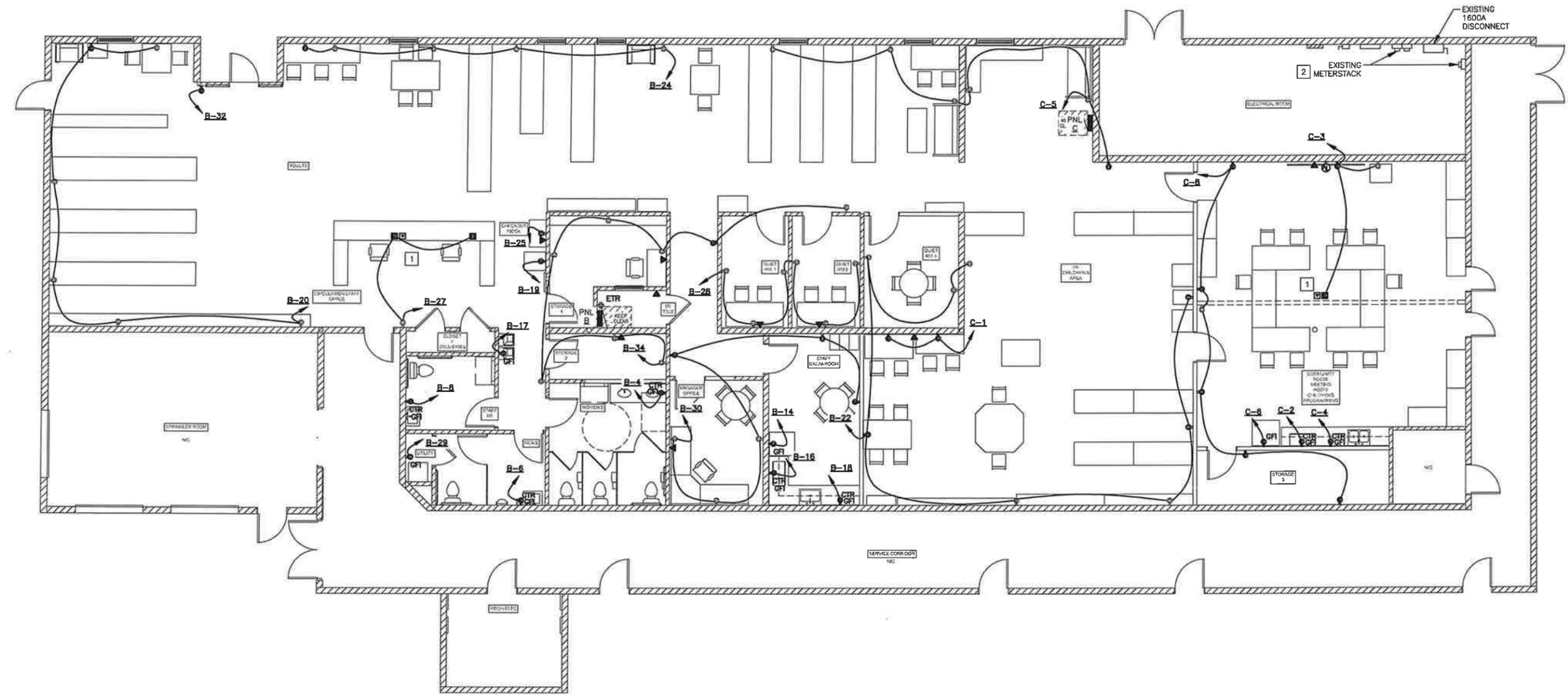
NO.	DESCRIPTION	DATE	INITIALS
0	INITIAL ISSUE	08/30/2022	JPT

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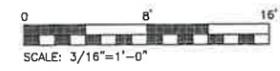
**ELECTRICAL  
 NEW WORK  
 POWER PLAN**

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

Date: 08/30/2022  
 Drawn: JPT Checked: CLB  
 Project: 220310  
**E-03**



**B ELECTRICAL NEW WORK - POWER PLAN**  
 3/16"=1'-0"



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 ENGINEERING  
 SOLUTIONS  
 INC.**  
 IDEAS ONLY  
 1025 Cambridge Blvd  
 Chesapeake, VA 23114  
 www.triad-engineering.com

Plotted on: 8/30/22

**NEW WORK KEYNOTE #**

1. AT RTU-1, REMOVE EXISTING DISCONNECT SWITCH AND REPLACE WITH NEW DISCONNECT SWITCH, 240V, 60A-2P, FUSED PER MFR RECOMMENDATION, NEMA-3R. PROVIDE CIRCUITRY IN WP FLEX AND UNIT CONNECTION.
2. AT RTU-2, REMOVE EXISTING DISCONNECT SWITCH AND REPLACE WITH NEW DISCONNECT SWITCH, 240V, 60A-2P, FUSED PER MFR RECOMMENDATION, NEMA-3R. PROVIDE CIRCUITRY IN WP FLEX AND UNIT CONNECTION.
3. AT RTU-3, REMOVE EXISTING DISCONNECT SWITCH AND REPLACE WITH NEW DISCONNECT SWITCH, 240V, 60A-2P, FUSED PER MFR RECOMMENDATION, NEMA-3R. PROVIDE CIRCUITRY IN WP FLEX AND UNIT CONNECTION.
4. AT RTU-4, PROVIDE DISCONNECT SWITCH, 240V, 100A-3P, FUSED AT 100A, NEMA-3R.
5. AT EF-1, RECONNECT TO EXISTING EXHAUST FAN CIRCUIT.

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 RELOCATION**  
 433 12TH STREET  
 WEST POINT, VA 23181

NO.	DATE	DESCRIPTION	INITIALS
1	08/30/2022	INITIAL ISSUE	JPT

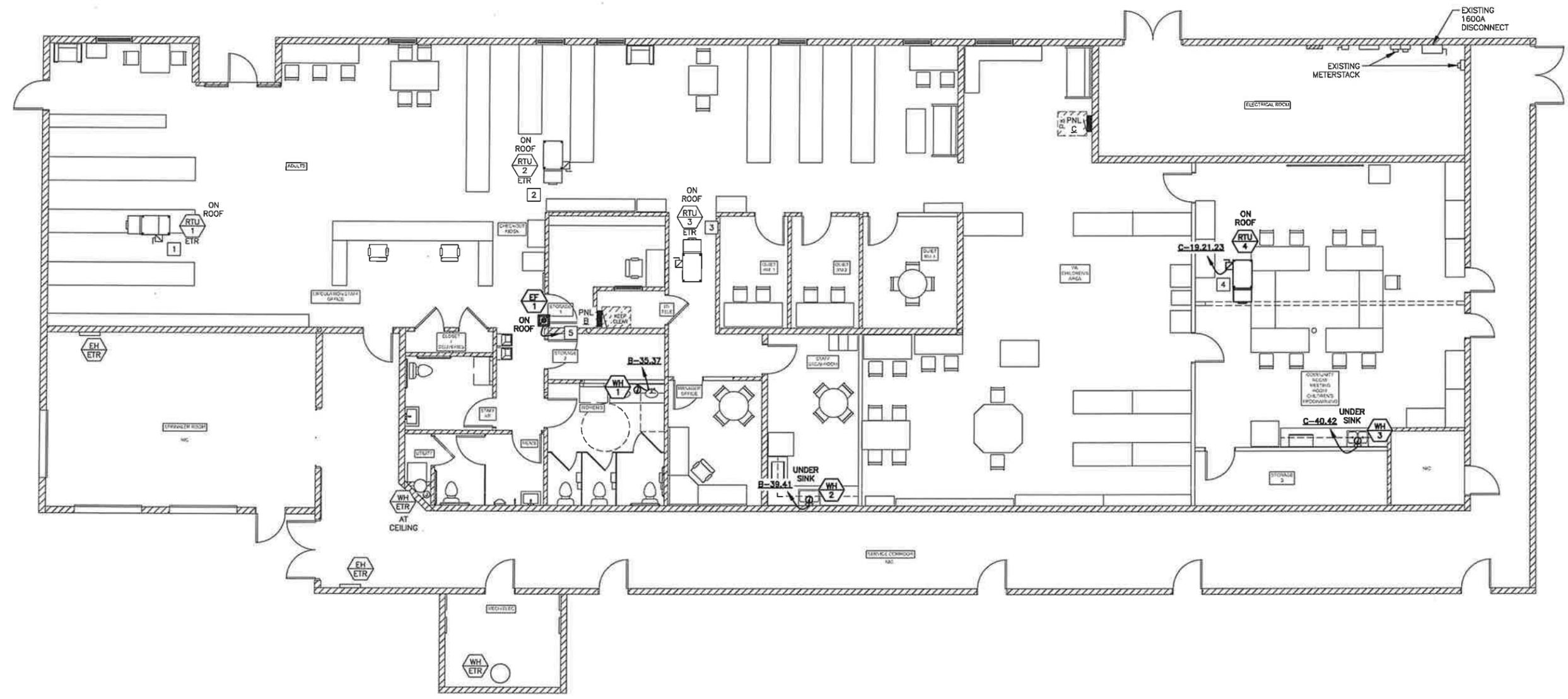
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**ELECTRICAL  
 NEW WORK  
 MECHANICAL POWER  
 PLAN**

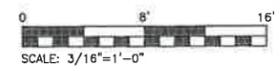
**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

Date: 08/30/2022  
 Drawn: JPT Checked: CLB  
 Project: 220310

**E-04**



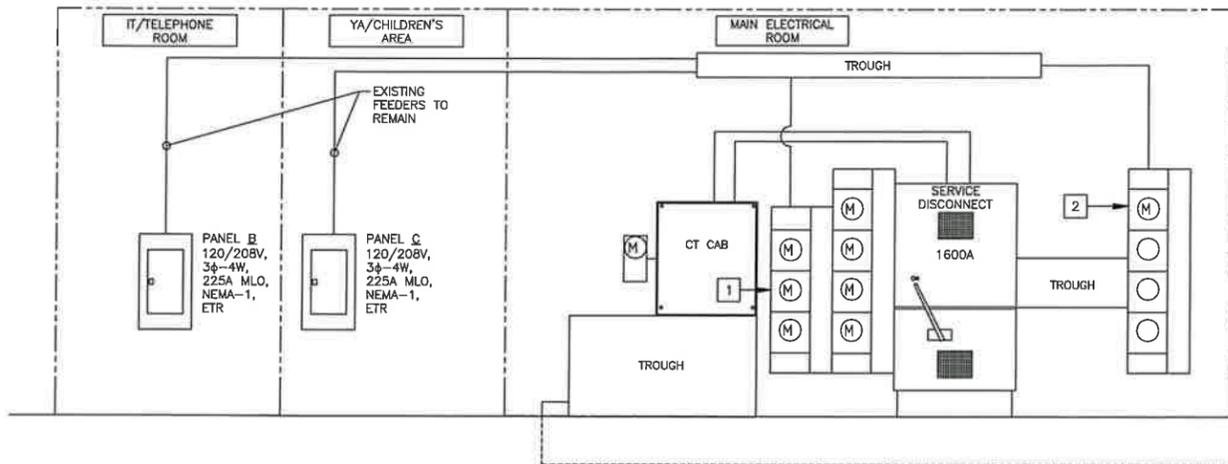
**C ELECTRICAL NEW WORK - MECHANICAL POWER PLAN**  
 3/16"=1'-0"



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Plotted on: 8/30/22





RISER NOTES		
#	NAME	SIZE
1	SERVICE METER	PROVIDE LABEL: PANEL B LIBRARY 1 OF 2
2	SERVICE METER	PROVIDE LABEL: PANEL C LIBRARY 2 OF 2

**ELECTRICAL NEW WORK - RISER DIAGRAM**

PANEL B (LIBRARY 1 OF 2)																				
CONDITION: EXISTING		VOLTS: 120/208V		M.C.B.: -								FED VIA METER STACK IN ELECTRICAL ROOM								
MOUNTING: SURFACE		PHASE: 3		M.L.O.: 225A																
TYPE: NEMA-1		WIRE: 4		LOCATION: IT CLOSET																
CKT #	BKR SIZE	TYPE	DESCRIPTION	WIRE	GND	C SIZE	CKT AMPS	COMBINED AMPERES			CKT AMPS	WIRE	GND	C SIZE	DESCRIPTION	TYPE	BKR SIZE	CKT #		
							Aφ	Bφ	Cφ											
1							24.8	26		1.5	ETR	ETR	ETR		REC - GFI ON ROOF	E	20/1P	2		
3	40/3P	E	RTU-3		ETR	ETR	24.8		27	2.2	12	12	2"	REC/LTS - WOMEN'S RR	E	20/1P	4			
5							24.8		27	2.2	12	12	2"	REC/LTS - MEN'S RR	E	20/1P	6			
7							20.8	23		2.2	12	12	2"	REC/LTS - STAFF RR	E	20/1P	8			
9	50/3P	E	RTU-2		ETR	ETR	20.6		21	0.2	12	12	2"	LTS - IT/TELE	E	20/1P	10			
11							20.8		23	1.7	12	12	2"	EF-1	E	20/1P	12			
13	60/3P	E	RTU-1		ETR	ETR	15.5	21		5.0	12	12	2"	REC - BREAK RM REFRIG (DED)	E	20/1P	14			
15							15.5	28		12.5	12	12	2"	REC - BREAK RM MICROWAVE (DED)	E	20/1P	16			
17	20/1P	E	REC - WC (DED)		12	12	4.2		5	1.5	12	12	2"	REC - BREAK RM (DED)	E	20/1P	18			
19	20/1P	E	REC - PRINTER/COPIER (DED)		12	12	12.5	22		9.0	12	12	2"	REC - ADULT STACKS EAST	E	20/1P	20			
21	20/1P	E	SIGN		ETR	ETR	0.8		13	12.0	12	12	2"	REC - QUIET RM 3, YA/CH	E	20/1P	22			
23	20/1P	E	WALL HEATER		ETR	ETR	16.0		24	7.5	12	12	2"	REC - ADULT STACKS SOUTH WALL	E	20/1P	24			
25	20/1P	E	REC - CHECKOUT KIOSK		12	12	5.0	8		3.0	ETR	ETR	ETR	REC - IT/TELE	E	20/1P	26			
27	20/1P	E	REC - FRONT CIRC DESK		12	12	11.5		28	16.0	12	12	2"	REC - QUIET RM 1&2	E	20/1P	28			
29	20/1P	E	REC - UTILITY		12	12	1.5		11	9.0	12	12	2"	REC - MNGR OFFICE, BREAK RM	E	20/1P	30			
31	20/1P	E	WATER HEATER		ETR	ETR	6.3	8		1.5	12	12	2"	REC - FRONT DETECTION	E	20/1P	32			
33			SPACE ONLY				0.0		12	12.0	12	12	2"	REC - ADLT STCK CORR, STRG 1&2	E	20/1P	34			
35	50/3P	L	WH-1		6	10	39.9		40	0.0				SPARE		20/1P	36			
37							39.9	40		0.0				SPACE ONLY			38			
39							19.7	20		0.0				SPACE ONLY			40			
41	30/3P	L	WH-2		10	10	19.7		20	0.0				SPACE ONLY			42			
							147	148	149											
							Aφ	Bφ	Cφ	NOTES:										
							COMBINED TOTAL AMPERES			1. CIRCUIT OUTLINED IN BOLD INDICATES NEW BREAKER. MATCH EXISTING PANEL KAIC.										

TYPE: E=EXISTING, G=GFCI, H=HACR, L=CB LOCK, ST=SHUNT, SW=SWITCHED

PANEL C (LIBRARY 2 OF 2)																				
CONDITION: EXISTING		VOLTS: 120/208V		M.C.B.: -								FED VIA METER STACK IN ELECTRICAL ROOM								
MOUNTING: SURFACE		PHASE: 3		M.L.O.: 225A																
TYPE: NEMA-1		WIRE: 4		LOCATION: YA/CHILDREN'S AREA																
CKT #	BKR SIZE	TYPE	DESCRIPTION	WIRE	GND	C SIZE	CKT AMPS	COMBINED AMPERES			CKT AMPS	WIRE	GND	C SIZE	DESCRIPTION	TYPE	BKR SIZE	CKT #		
							Aφ	Bφ	Cφ											
1	20/1P	E	REC - YA/CH COMPUTER STATION	12	12	2"	10.0	23		12.5	12	12	2"	REC - COMM RM MICROWAVE	E	20/1P	2			
3	20/1P	E	REC - COMM RM MEDIA	12	12	2"	4.5		6	1.5	12	12	2"	REC - COMM ROOM CTR	E	20/1P	4			
5	20/1P	E	REC - ADLT STCK, YA/CH SOUTH	12	12	2"	9.0		14	5.0	12	12	2"	REC - COMM ROOM REFRIG	E	20/1P	6			
7	20/1P	E	REC - GFI ON ROOF		ETR	ETR	1.5	11		9.0	12	12	2"	REC - COMM ROOM	E	20/1P	8			
9			SPACE ONLY				0.0		1	1.0	12	12	2"	LTS - EXTERIOR ENTRANCE	E	20/1P	10			
11			SPACE ONLY				0.0		10	10.1	12	12	2"	LTS - QT RM, YA/CH, COMM RM	E	20/1P	12			
13			SPACE ONLY				0.0	13		12.7	12	12	2"	LTS - ADULT STACK, OFFICE AREA	E	20/1P	14			
15			SPACE ONLY				0.0		16	16.0	ETR	ETR	ETR	BATHROOM HOT WATER	E	20/1P	16			
17			SPACE ONLY				0.0		0	0.0				SPACE ONLY			18			
19			SPACE ONLY				69.6	70		0.0				SPACE ONLY			20			
21	100/3P		RTU-4		3	8	1 1/2"	69.6	70	0.0				SPACE ONLY			22			
23			SPACE ONLY				69.6		70	0.0				SPACE ONLY			24			
25			SPACE ONLY				0.0	0		0.0				SPACE ONLY			26			
27			SPACE ONLY				0.0	0		0.0				SPACE ONLY			28			
29			SPACE ONLY				0.0	0		0.0				SPACE ONLY			30			
31			SPACE ONLY				0.0	0		0.0				SPACE ONLY			32			
33			SPACE ONLY				0.0	0		0.0				SPACE ONLY			34			
35			SPACE ONLY				0.0	0		0.0				SPACE ONLY			36			
37			SPACE ONLY				0.0	0		0.0				SPACE ONLY			38			
39			SPACE ONLY				0.0	20		19.7	10	10	2"	WH-3	L	30/3P	40			
41			SPACE ONLY				0.0		20	19.7							42			
							115	112	113											
							Aφ	Bφ	Cφ	NOTES:										
							COMBINED TOTAL AMPERES			1. CIRCUIT OUTLINED IN BOLD INDICATES NEW BREAKER. MATCH EXISTING PANEL KAIC.										

TYPE: E=EXISTING, G=GFCI, H=HACR, L=CB LOCK, ST=SHUNT, SW=SWITCHED

NEW LIGHTING FIXTURE SCHEDULE							
ID	TYPE	MANUFACTURER	MODEL NUMBER	LAMPS	VOLTS	WATTS	NOTES
R24	RECESSED 24"x48"	LITHONIA	CPX-2X4-500LM-80CRI-40K-SWL-MIN10-ZT-MVOLT	LED	120	39 (UON)	
DL1	RECESSED DOWN LIGHT	LITHONIA	WF6-LED-30K40K50K-90CRI-MW	LED	120	14 (UON)	SET VARIABLE CT TO 40K.
WL1	EXTERIOR WALL MOUNT	-	(OWNER SELECTED, CONTRACTOR PROVIDED)	LED	120	40 (UON)	WET LISTED, VERIFY MOUNTING HEIGHT.
RH	EMERGENCY REMOTE HEAD	LITHONIA	ELA QWP	LED	120	(NA)	WET LISTED, MOUNTED ABOVE EXTERIOR DOOR FRAME
R24E	RECESSED 24"x48" W/ EBU	LITHONIA	CPX-2X4-500LM-80CRI-40K-SWL-MIN10-ZT-MVOLT-E10WLC	LED	120	39 (UON)	
EX1	LED EXIT SIGN	LITHONIA	LQM-S-W-3-R-120/277	LED	120	1.4	
EX2	LED EXIT SIGN W/ LAMPS & EBU	LITHONIA	LHQM-LED-R	LED	120	1.4	MOUNTED ABOVE EGRESS DOOR FRAME; ORDER WITH HIGH OUTPUT (HO) OPTION WHEN USED WITH REMOTE HEAD.

NEW EXHAUST FAN SCHEDULE						
(LISTED MAKE & MODEL ARE SHOWN FOR REFERENCE ONLY. EQUIPMENT NIC.)						
ID	MAKE	MODEL NUMBER	φ	VOLTS	HP	NOTES
EF-1	S&P	SDBD8SC	1	120	0.25	

NEW PACKAGED ROOFTOP UNIT SCHEDULE					
(MODEL ARE SHOWN FOR REFERENCE ONLY. EQUIPMENT NIC.)					
ID	MAKE	MODEL NUMBER	φ	VOLTS	UNIT
RTU-4	AMERICAN STANDARD	WSC092	3	208	67/100

NEW WATER HEATER SCHEDULE						
(LISTED MAKE & MODEL ARE SHOWN FOR REFERENCE ONLY. EQUIPMENT NIC.)						
ID	MAKE	MODEL NUMBER	φ	VOLTS	KW	NOTES
WH-1	EEMAX	SPEX820B	1	208	8.3	VERIFY LOCATION WITH PLUMBING INSTALLATION CONTRACTOR.
WH-2	EEMAX	SPEX420B	1	208	4.1	
WH-3	EEMAX	SPEX420B	1	208	4.1	

Plotted on: 8/30/22



Date: 08/30/2022  
 Drawn: JPT Checked: CLB  
 Project: 220310

E-06



**WEST POINT LIBRARY RELOCATION**  
 433 12TH STREET  
 WEST POINT, VA 23181

REVISION	DATE	INITIALS	DESCRIPTION
1	08/30/2022	JPT	INITIAL ISSUE

ELECTRICAL NEW WORK SCHEDULES & RISER DIAGRAM

**PRELIMINARY NOT FOR CONSTRUCTION**

## **AGENDA ITEM 4.k.**

**Resolution 22-80R - Amend Resolution 22-80 - Nita McInteer, Human Resources  
Manager**





Nita F. McInteer  
Human Resources Manager

William L. Hodges, First District  
Travis J. Moskalski, Second District  
Stephen K. Greenwood, Third District  
C. Stewart Garber, Jr., Fourth District  
Edwin H. Moren, Jr., Fifth District

## MEMORANDUM

**DATE:** October 3, 2022  
**TO:** King William County Board of Supervisors  
**FROM:** Nita F. McInteer, Human Resources Manager  
**SUBJECT:** FY 23 Treasurer’s Office Budget Reallocation

### REQUEST FOR ACTION

- Revision to Resolution 22-80 for reallocation of Treasurer’s budget. The minimum salary for the Treasurer and Deputy positions per the Virginia Compensation Board were updated after the approved budget was published to their website on July 1, 2022. Below, is the readjustment of line items for this revision. The number of positions of in the Treasurer’s Office remain as the Treasurer, one full-time Deputy Treasurer, and one part-time Deputy Treasurer.

### SUMMARY

The budget for full-time salaries and fringe lines should be reduced by \$27,644 and those funds reallocated into budget lines in a deficit . A summary of the reallocation is listed below.

#### Expenditures:

Reduce	\$	28,795	Department Salaries & Fringe
Increase	\$	26,243	Professional Services
Increase	\$	2,000	Postal Service
Increase	\$	152	Travel (Convention & Education)
Increase	\$	400	Dues & Associations

### ATTACHMENTS

- Resolution 22-80R
- Treasurer Budget Summary
- Updated State Compensation Board FY23 Treasurer Budget for King William County as of September 27, 2022.

**RESOLUTION 22-80R**  
**AMENDMENT TO THE KING WILLIAM COUNTY FISCAL YEAR 2023 BUDGET**  
**SALARIES & GENERAL EXPENDITURES FOR TREASURER OFFICE**

**WHEREAS** the King William County Board of Supervisors (Board) wishes to amend its Fiscal Year (FY) 2023 Budget for salaries and general expenditures of the Treasurer’s office;

**NOW, THEREFORE, BE IT RESOLVED** that the King William County Board of Supervisors does hereby authorize and appropriate the following amendments within the 2022-2023 Budget, which monies shall be expended for purposes as authorized and approved by the Board:

FUND/ORGANIZATION

General Fund

Expenditures:

Reduce	\$	<del>32,552</del>	<b>28,795</b>	Department Salaries & Fringe
Increase	\$	<del>30,000</del>	<b>26,243</b>	Professional Services
Increase	\$	2,000		Postal Service
Increase	\$	152		Travel (Convention & Education)
Increase	\$	400		Dues & Associations

**DONE** this 3rd day of October, 2022.

## **AGENDA ITEM 6.a.**

Motion to Convene Closed Meeting in accordance with Section 2.2-3711 (A)(1) of the Code of Virginia to consider a personnel matter involving the appointment of individuals to Boards and Commissions and involving the promotion of a specific public employee.

## CLOSED MEETING MOTIONS

**✗ PERSONNEL** – In accordance with Section 2.2-3711 (A)(1) of the Code of Virginia, I move that the Board of Supervisors convene in Closed Meeting to consider a personnel matter involving the (choose from below):

**✗** 1. appointment of individuals to Boards and Commissions.

2. interview of a prospective candidate for employment.

(or the)

3. Employment

**✗** 6. Promotion

9. Salary

4. Assignment

7. Performance

10. Discipline

5. Appointment

8. Demotion

11. Resignation

of a specific public officer / appointee / employee.

**PUBLIC PROPERTY** – In accordance with Section 2.2-3711 (A)(3) of the Code of Virginia, I move that the Board of Supervisors convene in Closed Meeting regarding real property used for a public purpose, specifically pertaining to (choose from below):

1. the acquisition of real property for a public purpose.

2. the disposition of (name publicly held real property involved).

because discussion in an open meeting may adversely affect the bargaining position or negotiating strategy of the Board.

**PROTECTION OF PRIVACY OF INDIVIDUALS** – In accordance with Section 2.2-3711 (A)(4) of the Code of Virginia, I move that the Board of Supervisors convene in Closed Meeting regarding a personal matter not related to public business in order to protect the privacy of individuals.

**PROSPECTIVE BUSINESS OR INDUSTRY OR EXPANSIONS OF EXISTING BUSINESS OR INDUSTRY** – In accordance with Section 2.2-3711 (A)(5) of the Code of Virginia, I move that the Board of Supervisors convene in Closed Meeting to discuss a prospective business or industry or expansion of an existing business or industry where no previous announcement has been made.

**INVESTING OF PUBLIC FUNDS** – In accordance with Section 2.2-3711 (A)(6) of the Code of Virginia, I move that the Board of Supervisors convene in Closed Meeting to discuss the investing of public funds where competition or bargaining is involved and where discussion in open session would adversely affect the financial interest of the County.

**LEGAL MATTERS** – In accordance with Section 2.2-3711 (A)(7) of the Code of Virginia, I move that the Board of Supervisors convene in Closed Meeting to (choose from below):

- 1. consult with legal counsel, consultants, and/or staff on a matter of actual litigation in which the County is involved.
- 2. consult with legal counsel, consultants, and/or staff on a matter of probable litigation in which the County may become involved.

because discussion in an open meeting may adversely affect the litigation position or negotiating strategy of the Board.

**LEGAL MATTERS** – In accordance with Section 2.2-3711 (A)(8) of the Code of Virginia, I move that the Board of Supervisors convene in Closed Meeting to consult with legal counsel on a specific legal matter (identify matter in general terms at a minimum) requiring the provision of legal advice by counsel.

**HAZARDOUS WASTE SITING** – In accordance with Section 2.2-3711 (A)(14) of the Code of Virginia, I move that the Board of Supervisors convene in Closed Meeting to discuss the terms, conditions, and provisions of a hazardous waste siting agreement after a finding in open meeting that an open meeting will have an adverse effect upon the negotiating position of the Board or the establishment of the terms, conditions, and provisions of the siting agreement, or both.

**TERRORIST ACTIVITY** – In accordance with Section 2.2-3711 (A)(19) of the Code of Virginia, I move that the Board of Supervisors convene in Closed Meeting to (choose from below):

- 1. discuss plans to protect public safety relating to terrorist activity or specific cybersecurity threats or vulnerabilities and briefings by staff members, legal counsel, law-enforcement, or emergency service officials concerning actions taken to respond to such activity or a related threat to public safety.
- 2. discuss reports or plans related to the security of any governmental facility, building, or structure, or the safety of persons using such facility, building, or structure.

**PUBLIC CONTRACTS** – In accordance with Section 2.2-3711 (A)(29) of the Code of Virginia, because discussion in an open session would adversely affect the bargaining position or negotiating strategy of the Board, I move that the Board of Supervisors convene in Closed Meeting to (choose from below):

- 1. discuss the award of a public contract involving the expenditure of public funds.
- 2. interview bidders or offerors.
- 3. discuss the terms or scope of a public contract.

## **CERTIFICATION OF CLOSED MEETING**

Mr. Chairman, I move that the King William County Board of Supervisors approve Standing Resolution 1 (SR-1) in accordance with Section 2.2-3712 (D) of the Code of Virginia, 1950, as amended, certifying that the Closed Meeting was conducted in conformity with the requirements of the Virginia Freedom of Information Act.

### **STANDING RESOLUTION – 1 (SR-1) A RESOLUTION TO CERTIFY COMPLIANCE WITH THE FREEDOM OF INFORMATION ACT REGARDING MEETING IN CLOSED MEETING**

**WHEREAS**, the King William County Board of Supervisors has convened a Closed Meeting on this date pursuant to an affirmative recorded vote, and in accordance with the provisions of the Virginia Freedom of Information Act; and,

**WHEREAS**, Section 2.2-3712 (D) of the Code of Virginia requires a certification by the King William County Board of Supervisors that such Closed Meeting was conducted in conformity with Virginia law,

**NOW, THEREFORE, BE IT RESOLVED** that the King William County Board of Supervisors on this \_\_\_\_\_ day of \_\_\_\_\_, 2022, hereby certifies that, to the best of each member's knowledge:

1. Only public business matters lawfully exempted from open meeting requirements under the Freedom of Information Act were heard, discussed, or considered by the King William County Board of Supervisors in the Closed Meeting to which this certification resolution applies; and
2. Only such public business matters as were identified in the motion convening the Closed Meeting were heard, discussed, or considered by the King William County Board of Supervisors.

**[ROLL CALL VOTE]**

## **AGENDA ITEM 7.a.**

**Resolution 22-86 - Appointment(s) to Social Services Advisory Board**

**RESOLUTION 22-86**  
**APPOINTMENT(S) TO THE SOCIAL SERVICES ADVISORY BOARD**

**WHEREAS** the King William County Board of Supervisors established the King William County Social Services Advisory Board on May 23, 2022 in accordance with Virginia Code § 63.2-305 consisting of five citizen members to be appointed by the King William County Board of Supervisors, plus the County Administrator as an *ex officio* member, with initial appointments of citizen members as follows: (i) one member for a term of one year; (ii) one member for a term of two years; (iii) one member for a term of three years, and (iv) two members for terms of four years, and subsequent appointments for a term of four years each, except that appointments to fill vacancies that occur during terms shall be for the remainder of these unexpired terms; and

**WHEREAS** the Board of Supervisors now desires to make appointments to the Social Services Advisory Board; and

**WHEREAS** three applicants have expressed interest in serving on the Social Services Advisory Board – Jason Brown, Veda Frazier, and Robert Hardwick;

**NOW, THEREFORE, BE IT RESOLVED** by the Board of Supervisors of King William County, Virginia that the following individual(s) be appointed to the Social Services Advisory Board for the following term(s):

<b>Name:</b>	<b>Term</b>	<b>Expiration</b>
_____	One-Year	September 30, 2023
_____	Two-Year	September 30, 2024
_____	Three-Year	September 30, 2025

**DONE** this 3rd day of October, 2022.

## **AGENDA ITEM 7.b.**

**Resolution 22-87 - Appointment(s) to King William County VA250 Planning  
Committee**

**RESOLUTION 22-87  
APPOINTMENT(S) TO THE VA250 PLANNING COMMITTEE**

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**WHEREAS** the King William County Board of Supervisors established the King William County VA250 Planning Committee via Resolution 22-66 on August 22, 2022 to plan and coordinate programs occurring within the County and communicate regularly with VA250 in order to promote and commemorate the 250th anniversary of Virginia's participation in American independence; and

**WHEREAS** the Board of Supervisors now desires to make appointments to the VA250 Planning Committee; and

**WHEREAS** five applicants have expressed interest in serving on the VA250 Planning Committee – David Brown, Karena Funkhouser, Sarah Heinsman, Shaleigh Howells, and Debi Moren;

**NOW, THEREFORE, BE IT RESOLVED** by the Board of Supervisors of King William County, Virginia that the following individual(s) be appointed to the VA250 Planning Committee through the commemoration period of 2022-2026:

_____	_____
_____	_____
_____	_____

**DONE** this 3rd day of October, 2022.